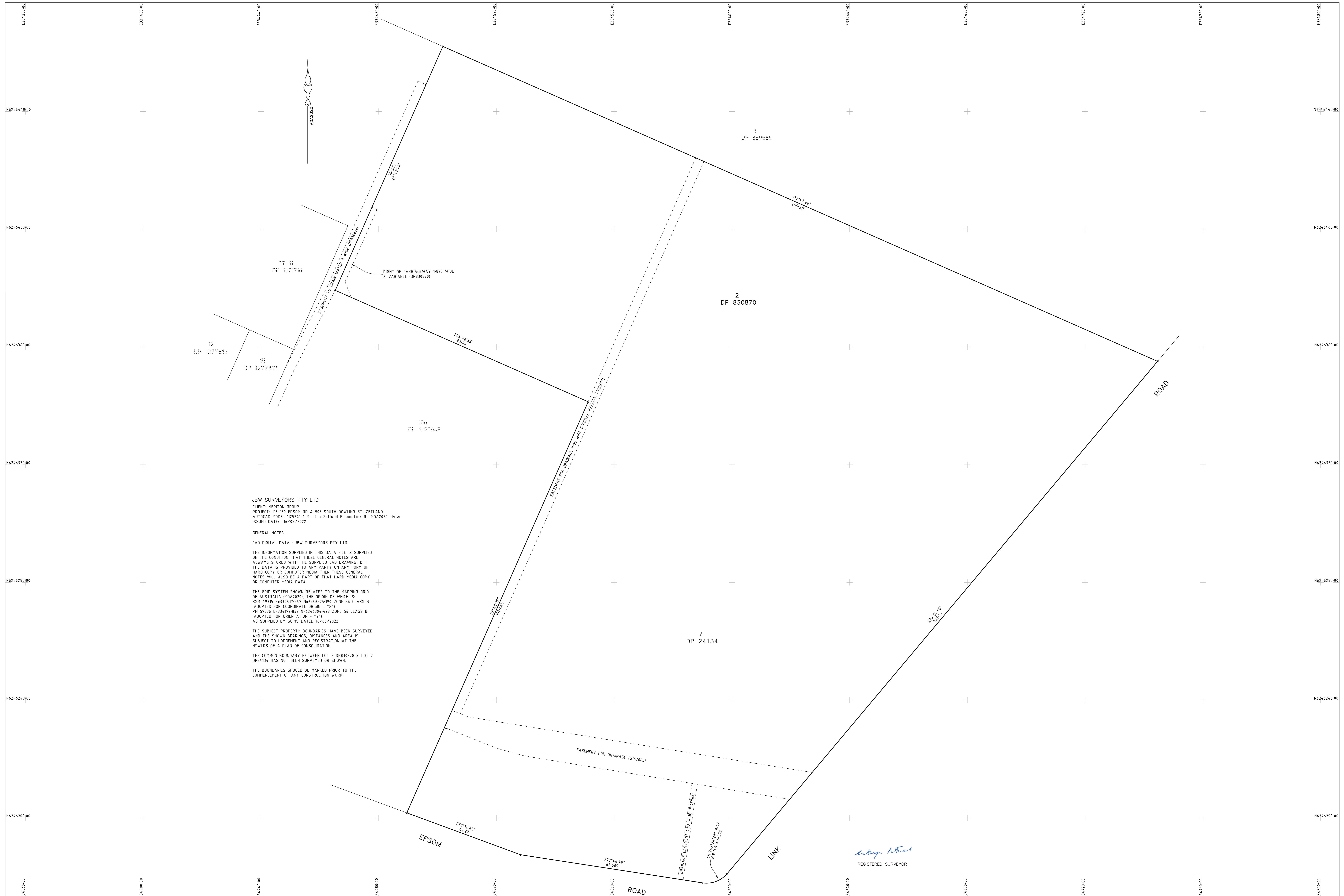


Attachment A8

Surveys



JBW SURVEYORS PTY LTD
 CLIENT: MERITON GROUP
 PROJECT: 118-130 EPSOM RD & 905 SOUTH DOWLING ST, ZETLAND
 AUTOCAD MODEL: 125241-1 Meriton-Zetland Epsom-Link Rd MGA2020 d-dwg
 ISSUED DATE: 16/05/2022

GENERAL NOTES
 CAD DIGITAL DATA : JBW SURVEYORS PTY LTD
 THE INFORMATION SUPPLIED IN THIS DATA FILE IS SUPPLIED ON THE CONDITION THAT THESE GENERAL NOTES ARE ALWAYS STORED WITH THE SUPPLIED CAD DRAWING, & IF THE DATA IS PROVIDED TO ANY PARTY ON ANY FORM OF HARD COPY OR COMPUTER MEDIA THEN THESE GENERAL NOTES WILL ALSO BE A PART OF THAT HARD MEDIA COPY OR COMPUTER MEDIA DATA.
 THE GRID SYSTEM SHOWN RELATES TO THE MAPPING GRID OF AUSTRALIA (MGA2020), THE ORIGIN OF WHICH IS: S50° 43'31.5" E 334472.247 N 6246225.709 ZONE 56 CLASS B (ADOPTED FOR COORDINATE ORIGIN - "X")
 PM 59536 E 334492.837 N 6246304.492 ZONE 56 CLASS B (ADOPTED FOR ORIENTATION - "Y")
 AS SUPPLIED BY SCMS DATED 16/05/2022
 THE SUBJECT PROPERTY BOUNDARIES HAVE BEEN SURVEYED AND THE SHOWN BEARINGS, DISTANCES AND AREA IS SUBJECT TO LODGEMENT AND REGISTRATION AT THE NSWLRS OF A PLAN OF CONSOLIDATION.
 THE COMMON BOUNDARY BETWEEN LOT 2 DP830870 & LOT 7 DP24134 HAS NOT BEEN SURVEYED OR SHOWN.
 THE BOUNDARIES SHOULD BE MARKED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORK.

Wendy A. Neal
 REGISTERED SURVEYOR

DATE	REVISION	AUTH.

JBW Surveyors Pty Ltd.
 ACN 001149373
 Level 1, 21-25 King Street Rockdale NSW 2216
 Phone: (02) 9168 6400
 www.jbwsurveyors.com.au
 Liability limited by a scheme approved under Professional Standards Legislation.

CLIENT
 MERITON GROUP
 THIS DOCUMENT IS THE PROPERTY OF JBW SURVEYORS PTY LTD AND SHALL ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED. UNAUTHORISED USE OF THIS DOCUMENT IS PROHIBITED.

PLAN SHOWING THE OVERALL PERIMETER SURVEYED BOUNDARIES OF LOT 2 DP830870 & LOT 7 DP24134 AND ASSOCIATED EASEMENTS.
 PROJECT: 118-130 EPSOM ROAD & 905 SOUTH DOWLING STREET, ZETLAND
 LOCALITY: ZETLAND LOCAL GOVERNMENT AREA CITY OF SYDNEY

SCALE:	PLAN REF.
1: 400 @ A0	125241/1
DATUM:	
DATE: 16/05/2022	
AREA: 4.085ha	DESIGNED: WDT DRAWN: WDT

DATE	REV	COMMENTS

PLAN PREPARED FOR:
SUTTONS GROUP OF COMPANIES

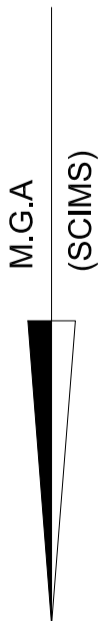
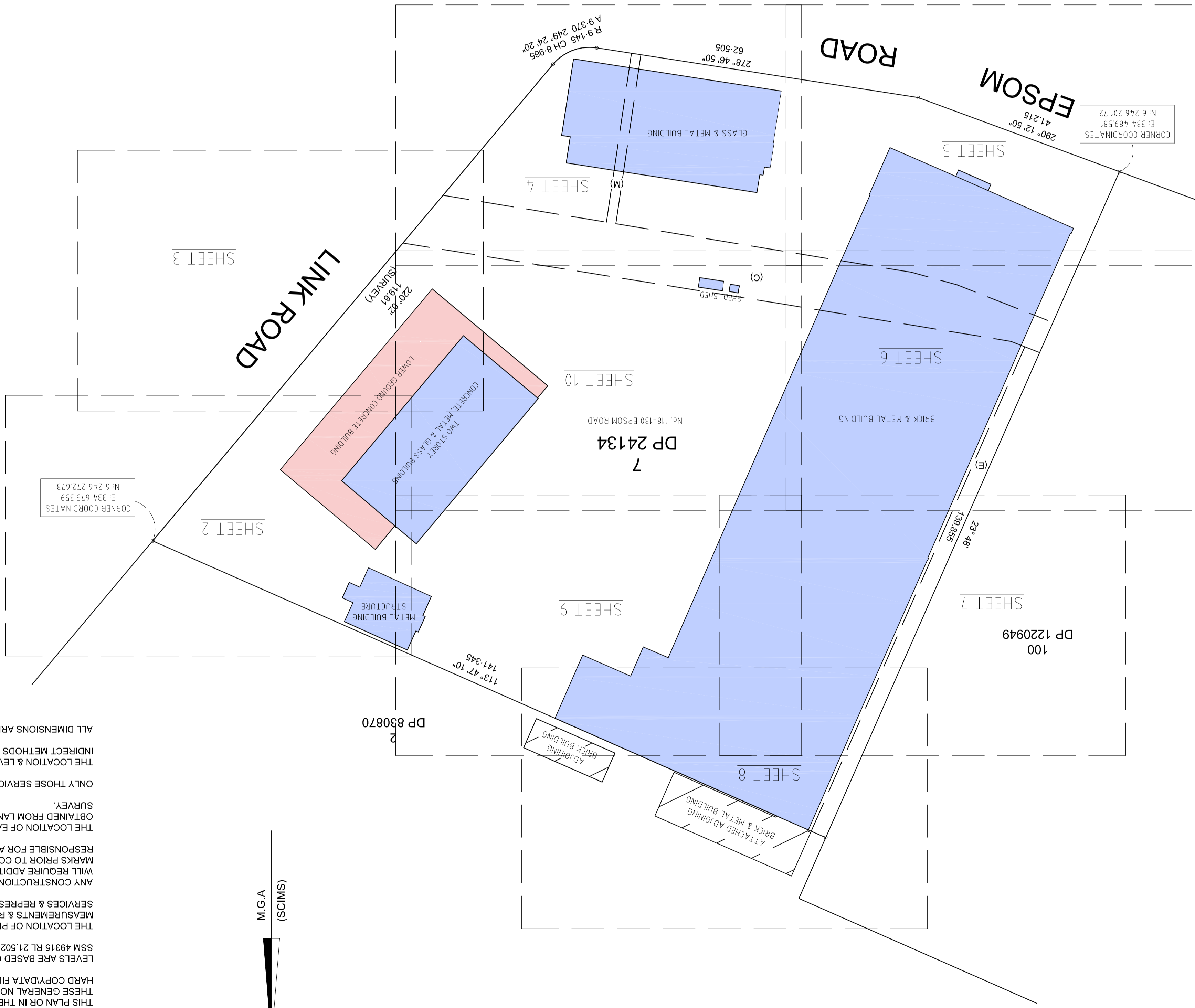
DATUM : A.H.D.	SCALE : NOT TO SCALE	DATE : 15-05-2020
ORIGIN OF LEVELS : SSM 49315	LOCALITY : LONGUEVILLE	SURVEY : RL
CONTOUR INTERVAL : 0.25m	L.G.A. : LANE COVE	DRAWN : RL
SHEET No. 1 OF 10	REF : 75183RL	CHECKED : DM

DESCRIPTION:
PLAN SHOWING GENERAL SITE CONDITIONS
 LOT 7 IN DP 24314
 BEING No.118-130 EPSOM ROAD, ZETLAND, 2017



- TREE LEGEND**
- TR3 : TREE APPROX. 0.30 TRUNK 6 SPREAD & HEIGHT
 - TR4 : TREE APPROX. 0.40 TRUNK 8 SPREAD & HEIGHT
 - TR5 : TREE APPROX. 0.50 TRUNK 8 SPREAD & HEIGHT
 - TR6 : TREE APPROX. 0.60 TRUNK 10 SPREAD & HEIGHT
 - TR7 : TREE APPROX. 0.70 TRUNK 10 SPREAD & HEIGHT

BY TITLE - DP 24134 - 1.618 ha
 BY SURVEY CALCULATION - 1.618 ha



GENERAL/SPECIFIC NOTES

THESE NOTES ARE AN INTEGRAL PART OF THIS PLAN. THE INFORMATION SHOWN ON THIS PLAN OR IN THE ASSOCIATED CAD FILE IS SUPPLIED ON THE CONDITION THAT THESE GENERAL NOTES ARE ALWAYS SHOWN/KEPT ON ANY COPY OR EXTRACT OF THE HARD COPY/DATA FILE.

LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (AHD). THE ORIGIN OF WHICH IS SSM 49315 RL 21.502 AHD (SOURCE: SCIMS 15-05-2020).

THE LOCATION OF PROPERTY BOUNDARIES HAVE BEEN COMPILED FROM SURVEY MEASUREMENTS & REGISTERED PLANS OBTAINED FROM NSW LAND REGISTRY SERVICES & REPRESENT TITLE DIMENSIONS.

ANY CONSTRUCTION OR WORKS RELYING ON CRITICAL SETBACKS FROM BOUNDARIES WILL REQUIRE ADDITIONAL BOUNDARY SURVEY & PLACEMENT OF BOUNDARY/SETOUT MARKS PRIOR TO COMMENCEMENT OF ANY WORKS. REALSERVE WILL NOT BE HELD RESPONSIBLE FOR ANY ISSUES RESULTING FROM NON COMPLIANCE WITH THIS ADVICE.

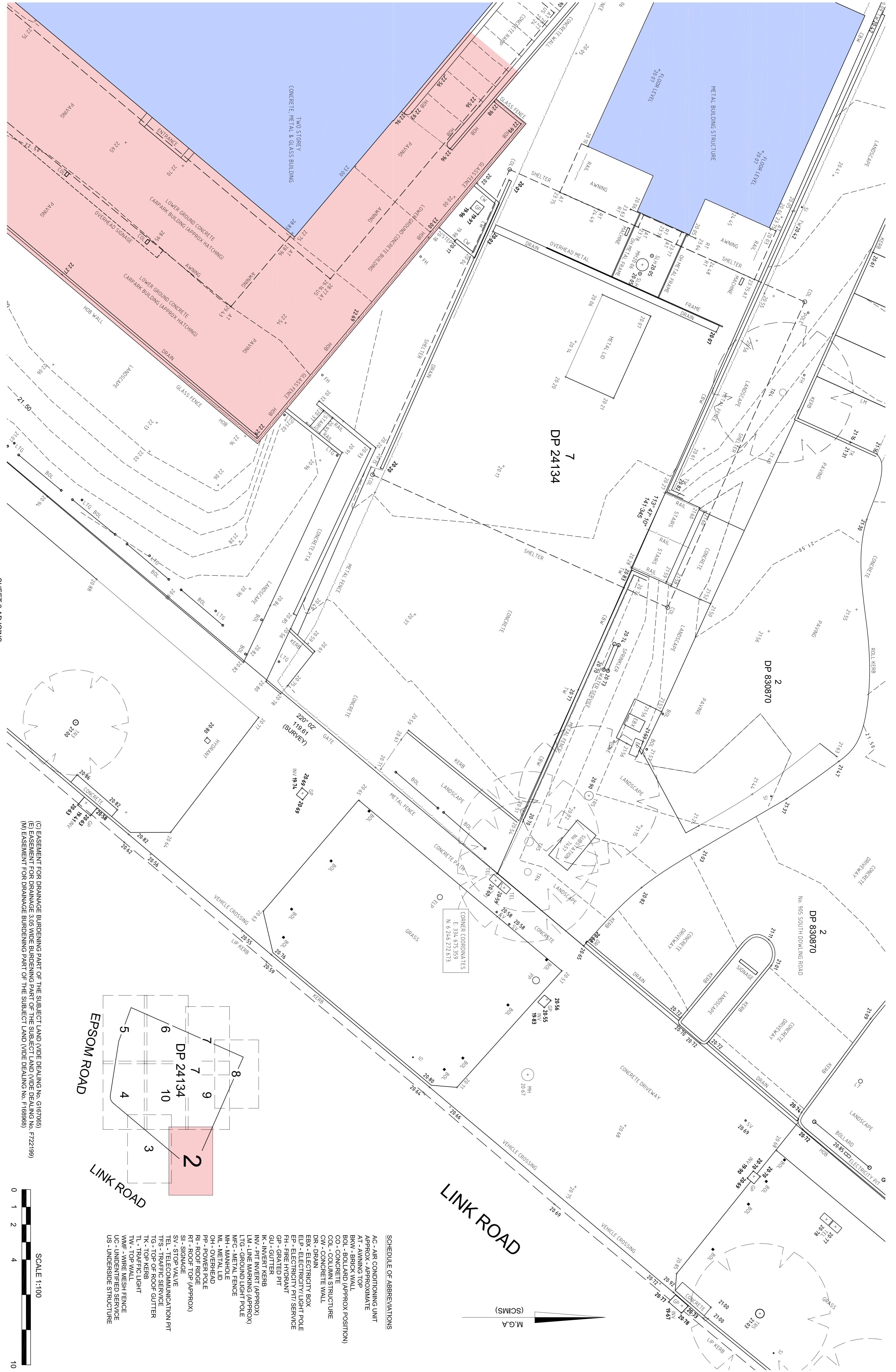
THE LOCATION OF EASEMENTS HAVE BEEN COMPILED FROM PLANS & RECORDS OBTAINED FROM LAND REGISTRY SERVICES N.S.W. AND ARE SUBJECT TO FINAL SURVEY.

ONLY THOSE SERVICES VISIBLE AT THE TIME OF SURVEY HAVE BEEN LOCATED. THE LOCATION & LEVELS OF BUILDING ROOF FEATURES HAVE BEEN DETERMINED BY INDIRECT METHODS (WHERE VISIBLE) & ACCURATE TO APPROXIMATELY +/- 0.02m.

ALL DIMENSIONS ARE IN METRES.

(C) EASEMENT FOR DRAINAGE BURDENING PART OF THE SUBJECT LAND (WIDE DEALING No. G167065)
 (E) EASEMENT FOR DRAINAGE BURDENING PART OF THE SUBJECT LAND (WIDE DEALING No. F722199)
 (M) EASEMENT FOR DRAINAGE BURDENING PART OF THE SUBJECT LAND (WIDE DEALING No. F168968)

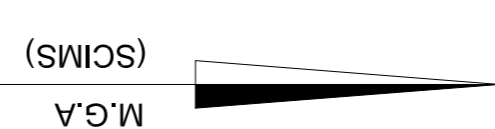
THE SUBJECT LAND - LOT 7 DP 24134 IS AFFECTED BY COVENANT (WIDE DEALING No. F722199)



LINK ROAD

EPSON ROAD

LINK ROAD



SCHEDULE OF ABBREVIATIONS

- AC - AIR CONDITIONING UNIT
- APPROX - APPROXIMATE
- AT - AWNING TOP
- BKW - BRICK WALL
- BOL - BOLLARD (APPROX POSITION)
- CO - CONCRETE
- COL - COLUMN STRUCTURE
- CW - CONCRETE WALL
- DR - DRAIN
- EBX - ELECTRICITY BOX
- EP - ELECTRICITY LIGHT POLE
- FP - FIRE HYDRANT
- FH - FIRE HYDRANT
- GP - GATED PIT
- GU - GUTTER
- IK - INVERT KERB
- INV - PIT INVERT (APPROX)
- LM - LINE MARKING (APPROX)
- LTG - GROUND LIGHT POLE
- MFC - METAL FENCE
- MH - MANHOLE
- ML - METAL LID
- OH - OVERHEAD
- PP - POWER POLE
- RI - ROOF RIDGE
- RI - ROOF OP (APPROX)
- RT - STOP VALVE
- TEL - TELECOMMUNICATION PIT
- TFS - TRAFFIC SERVICE
- TG - TOP OF ROOF GUTTER
- TK - TOP KERB
- TW - TOP WALL
- WMF - WIRE MESH FENCE
- UC - UNIDENTIFIED SERVICE
- US - UNDERSIDE STRUCTURE

(C) EASEMENT FOR DRAINAGE BURDENING PART OF THE SUBJECT LAND (VIDE DEALING NO. G167065)
 (E) EASEMENT FOR DRAINAGE 5.05 WIDE BURDENING PART OF THE SUBJECT LAND (VIDE DEALING NO. F722199)
 (M) EASEMENT FOR DRAINAGE BURDENING PART OF THE SUBJECT LAND (VIDE DEALING NO. F168988)

(SURVEY)
 220° 02' 11.61"

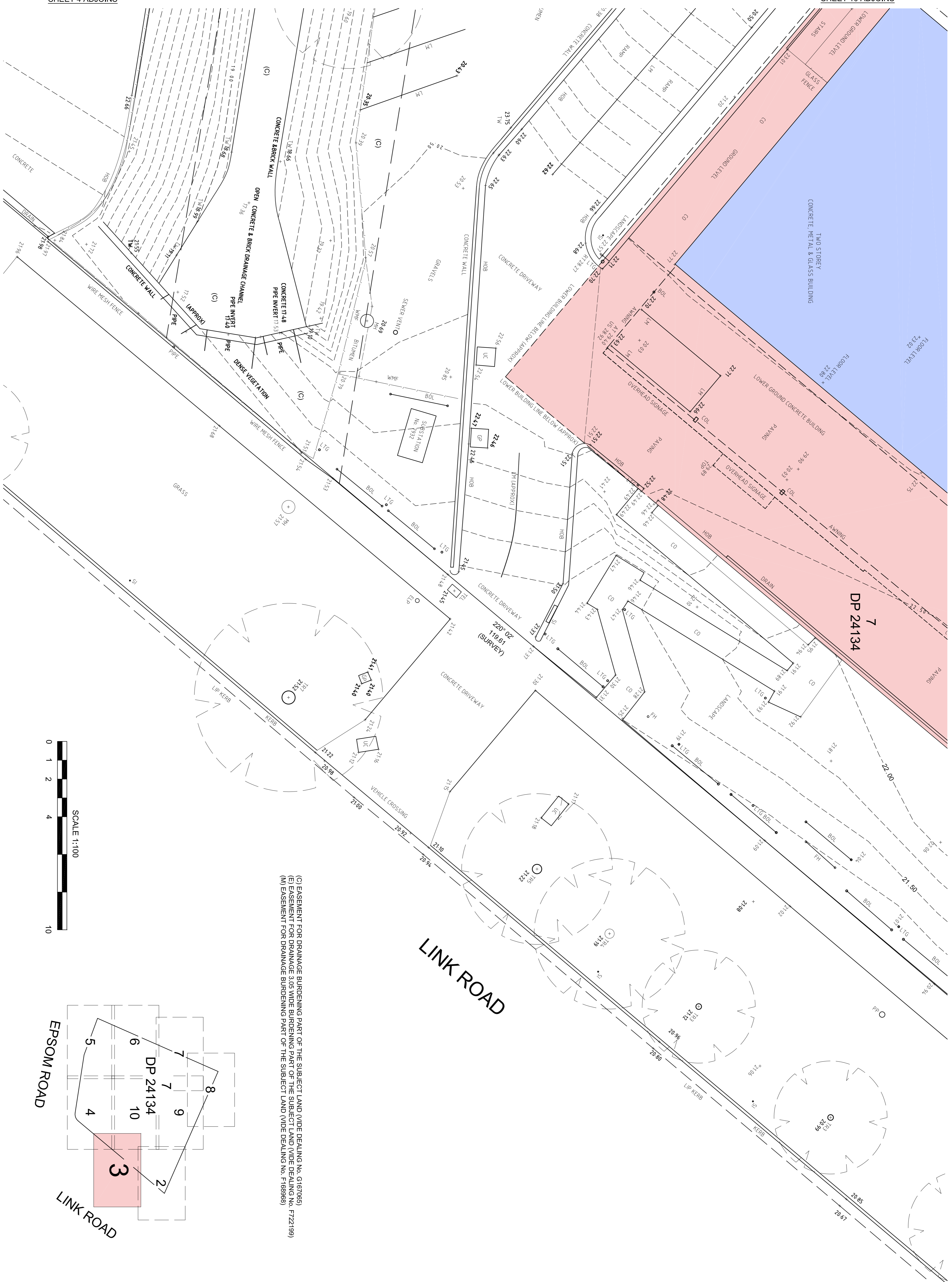
PLAN PREPARED FOR:
SUTTONS GROUP OF COMPANIES

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 www.realservice.com.au

DATE	REV	COMMENTS

DATUM: A.H.D.	SCALE: 1:100 @ A1	DATE: 15-05-2020
ORIGIN OF LEVELS: SSM 49315	LOCALITY: LONGUEVILLE	SURVEY: RL
CONTOUR INTERVAL: 0.25m	L.G.A.: LANE COVE	DRAWN: RL
SHEET No. 2 OF 10	REF: 75183RL	CHECKED: DM

DESCRIPTION:
PLAN SHOWING SELECT FEATURES & LEVELS
 LOT 7 IN DP 24314
 BEING NO. 118-130 EPSOM ROAD, ZETTLAND, 2017

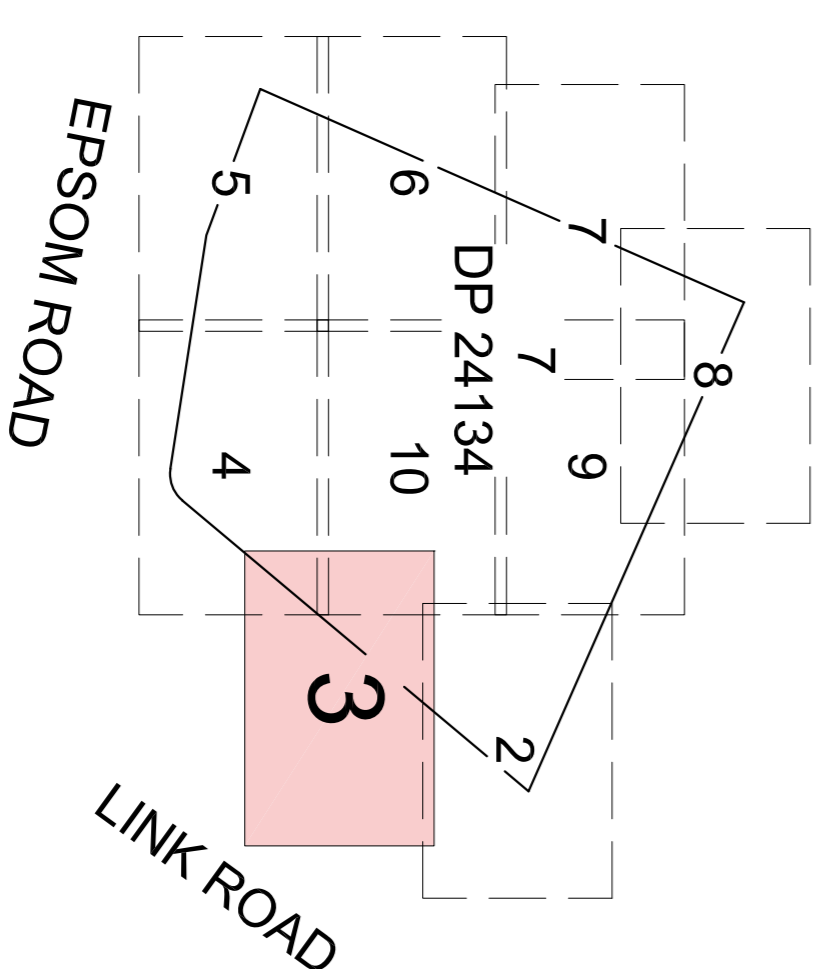
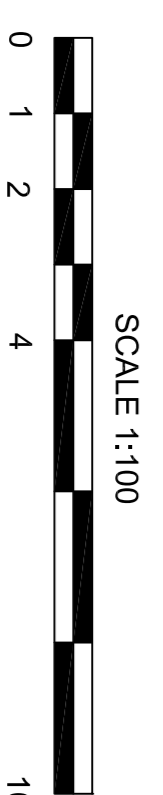


M.G.A.
(SCMS)

SCHEDULE OF ABBREVIATIONS

- AC - AIR CONDITIONING UNIT
- APPROX - APPROXIMATE
- A1 - AWNING TOP
- BKW - BRICK WALL
- BOL - BOLLARD (APPROX POSITION)
- COL - COLUMN STRUCTURE
- CONV - CONCRETE WALL
- DR - DRAIN
- EBX - ELECTRICITY BOX
- ELP - ELECTRICITY LIGHT POLE
- EP - ELECTRICITY PIT/SERVICE
- FH - FIRE HYDRANT
- GP - GRATED PIT
- GU - GUTTER
- IK - INVERT KERB
- INV - PIT INVERT (APPROX)
- LM - LINE MARKING (APPROX)
- LTG - GROUND LIGHT POLE
- MFC - METAL FENCE
- MH - MANDIBLE
- MH - MESH FENCE
- OH - OVERHEAD
- OP - POWER POLE
- PP - ROOF RIDGE
- RT - ROOF TOP (APPROX)
- SI - SIGNAGE
- SV - STOP VALVE
- TEL - TELECOMMUNICATION PIT
- TFS - TRAFFIC SERVICE
- TG - TOP OF ROOF GUTTER
- TK - TOP KERB
- TL - TRAFFIC LIGHT
- TW - TOP WALL
- WMF - WIRE MESH FENCE
- UC - UNIDENTIFIED SERVICE
- US - UNDERSIDE STRUCTURE

(C) EASEMENT FOR DRAINAGE BURDENING PART OF THE SUBJECT LAND (VIDE DEALING No. G167066)
 (E) EASEMENT FOR DRAINAGE BURDENING PART OF THE SUBJECT LAND (VIDE DEALING No. F722199)
 (M) EASEMENT FOR DRAINAGE BURDENING PART OF THE SUBJECT LAND (VIDE DEALING No. F168968)



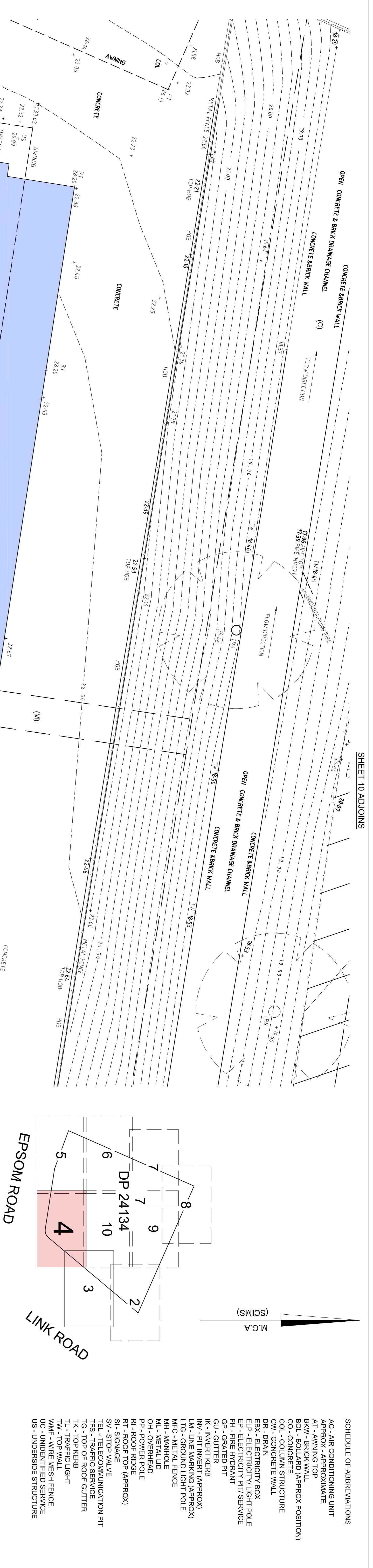
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DATE	REV	COMMENTS

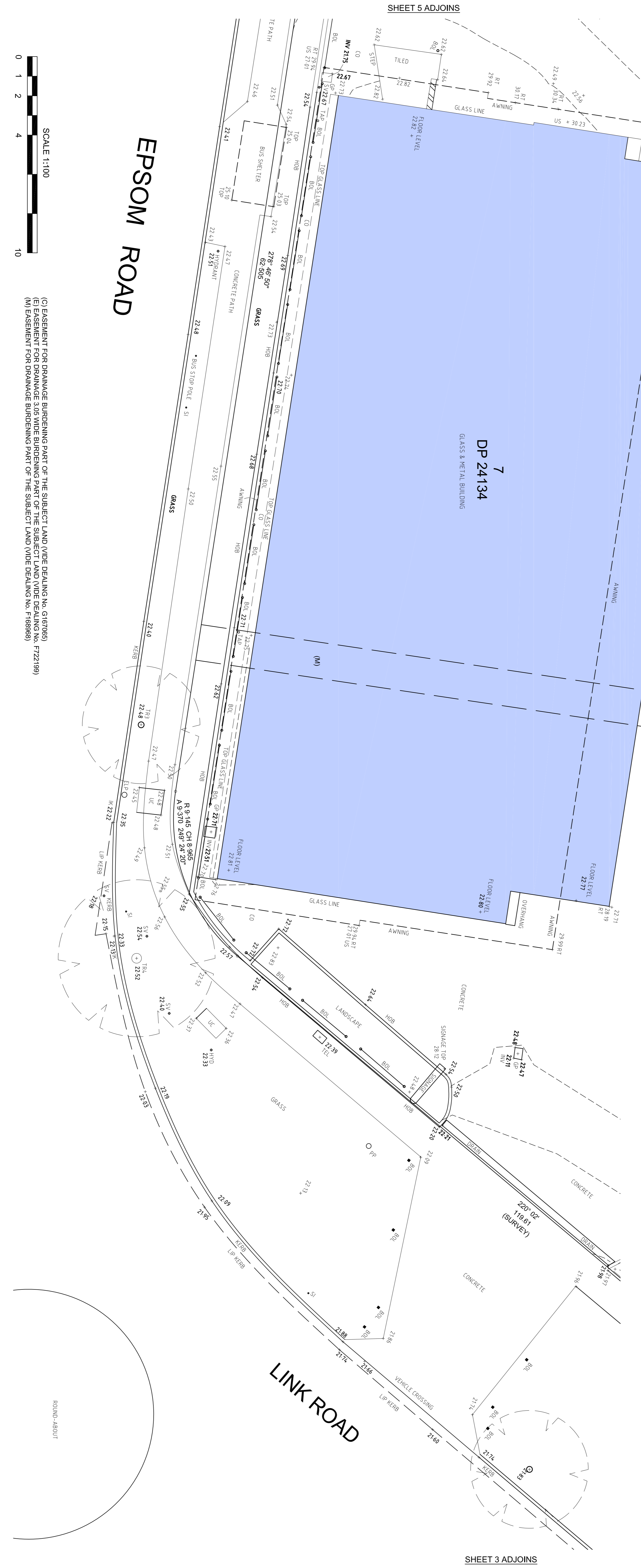
PLAN PREPARED FOR:
SUTTONS GROUP OF COMPANIES

DATUM: A.H.D.	SCALE: 1:100 @ A1	DATE: 15-05-2020
ORIGIN OF LEVELS: SSM 49315	LOCALITY: LONGUEVILLE	SURVEY: RL
CONTOUR INTERVAL: 0.25m	L.G.A.: LANE COVE	DRAWN: RL
SHEET No. 3 OF 10	REF: 75183RL	CHECKED: DM

DESCRIPTION:
PLAN SHOWING SELECT FEATURES & LEVELS
 LOT 7 IN DP 24314
 BEING NO. 118-130 EPSOM ROAD, ZETTLAND, 2017



- SCHEDULE E OF ABBREVIATIONS**
- AC - AIR CONDITIONING UNIT
 - APPROX - APPROXIMATE
 - AT - AWNING TOP
 - BKW - BRICK WALL
 - BL - BOLLARD (APPROX POSITION)
 - CO - CONCRETE
 - COL - COLUMN STRUCTURE
 - OW - CONCRETE WALL
 - DR - DRAIN
 - EBX - ELECTRICITY BOX
 - ELP - ELECTRICITY LIGHT POLE
 - EP - ELECTRICITY PIT SERVICE
 - FH - FIRE HYDRANT
 - GP - GRATED PIT
 - GU - GUTTER
 - IK - INVERT KEBB
 - IM - INVERT (APPROX)
 - LM - LINE MARKING (APPROX)
 - LTG - GROUND LIGHT POLE
 - MFG - METAL FENCE
 - MH - MANHOLE
 - ML - METAL LID
 - OH - OVERHEAD
 - PP - POWER POLE
 - RI - ROOF RIDGE
 - RT - ROOF TOP (APPROX)
 - SI - SIGNAGE
 - SV - STOP VALVE
 - TEL - TELECOMMUNICATION PIT
 - TELS - TELEPHONE SERVICE
 - TR - TRAFFIC SERVICE
 - TK - TOP OF KERB
 - TK - TRAFFIC LIGHT
 - TW - TOP WALL
 - WMF - WIRE MESH FENCE
 - UC - UNIDENTIFIED SERVICE
 - US - UNDERSIDE STRUCTURE



SHEET 5 ADJOINS

SHEET 10 ADJOINS

SHEET 3 ADJOINS

EPSON ROAD

LINK ROAD

LINK ROAD

DP 24134

GLASS & METAL BUILDING

FLOOR LEVEL

GLASS LINE

AWNING

CONCRETE

CONCRETE & BRICK DRAINAGE CHANNEL

CONCRETE BRICK WALL

CONCRETE BRICK WALL

TE PATH

GRASS

CONCRETE PATH

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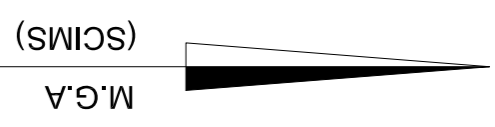
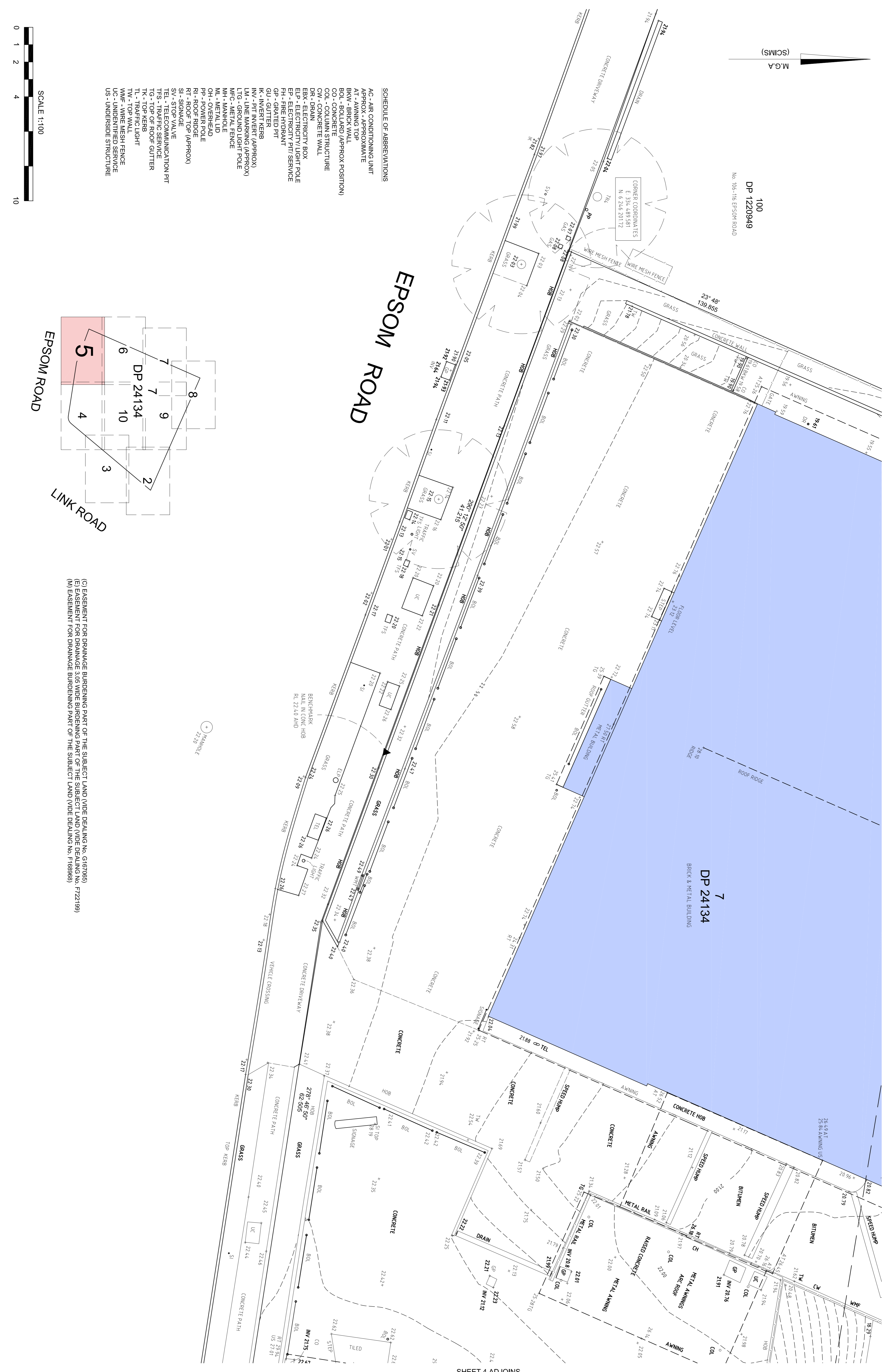
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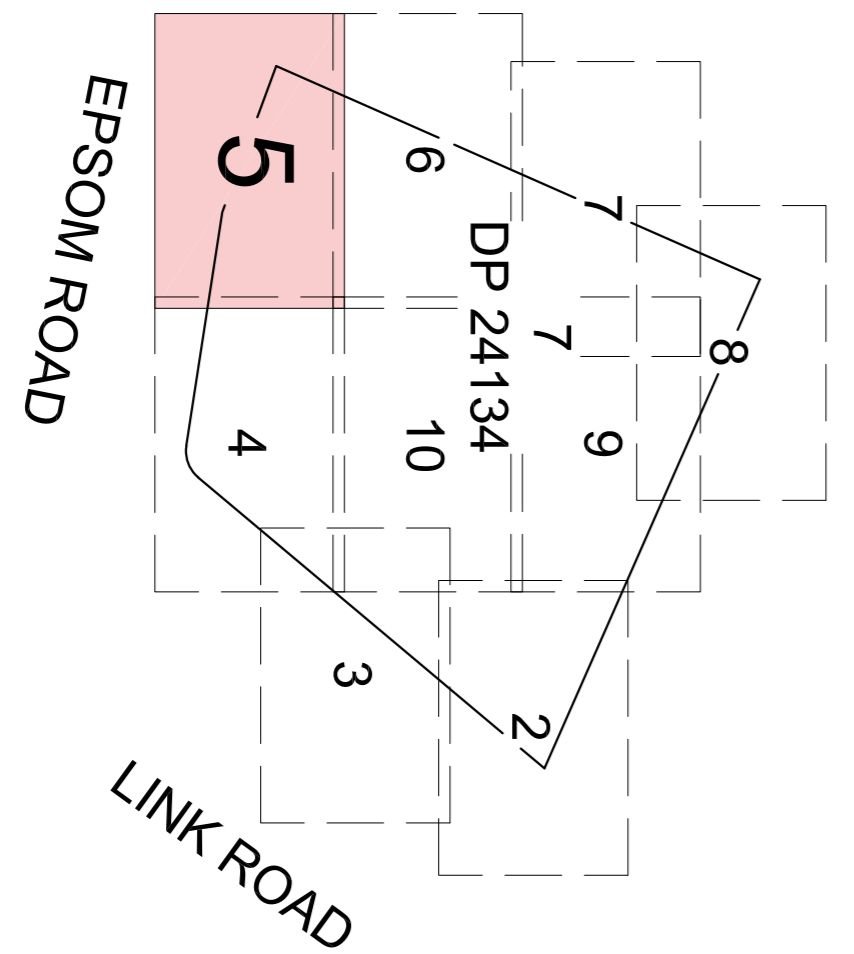
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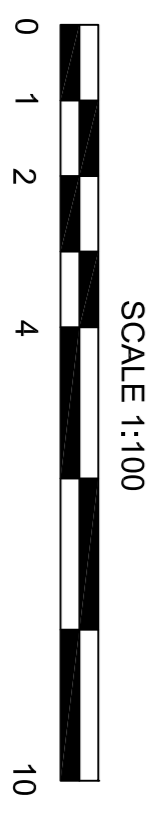
100
DP 1220949
No 106-116 EPSOM ROAD

CORNER COORDINATES
E 334,489.581
N 6 246 201.72

EPSON ROAD



- SCHEDULE OF ABBREVIATIONS**
- AC - AIR CONDITIONING UNIT
 - APPROX - APPROXIMATE
 - AT - AWNING TOP
 - BKW - BRICK WALL
 - BOL - BOLLARD (APPROX POSITION)
 - CO - CONCRETE
 - CO - CONCRETE STRUCTURE
 - CM - CONCRETE WALL
 - DR - DRAIN
 - EBX - ELECTRICITY BOX
 - ELP - ELECTRICITY LIGHT POLE
 - EP - ELECTRICITY PIT SERVICE
 - FH - FIRE HYDRANT
 - GP - GRATED PIT
 - GU - GUTTER
 - IK - INVERT KERB
 - INV - PIT INVERT (APPROX)
 - LM - LINE MARKING (APPROX)
 - LTG - GROUND LIGHT POLE
 - MFC - METAL FENCE
 - MH - MAIN HOLE
 - MH - MAIN HOLE
 - OH - OVERHEAD
 - PP - POWER POLE
 - RI - ROOF RIDGE
 - RT - ROOF TOP (APPROX)
 - SI - SIGNAGE
 - SV - STOP VALVE
 - TEL - TELECOMMUNICATION PIT
 - TFS - TRAFFIC SERVICE
 - TG - TOP OF ROOF GUTTER
 - TK - TOP KERB
 - TL - TRAFFIC LIGHT
 - TW - TOP WALL
 - WMF - WIRE MESH FENCE
 - UC - UNIDENTIFIED SERVICE
 - US - UNDERSIDE STRUCTURE



(C) EASEMENT FOR DRAINAGE BURDENING PART OF THE SUBJECT LAND VIDE DEALING NO. G168785)
 (E) EASEMENT FOR DRAINAGE 3.05 WIDE BURDENING PART OF THE SUBJECT LAND VIDE DEALING NO. F722199)
 (M) EASEMENT FOR DRAINAGE BURDENING PART OF THE SUBJECT LAND VIDE DEALING NO. F168889)

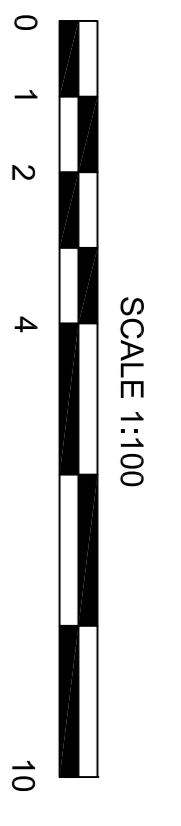
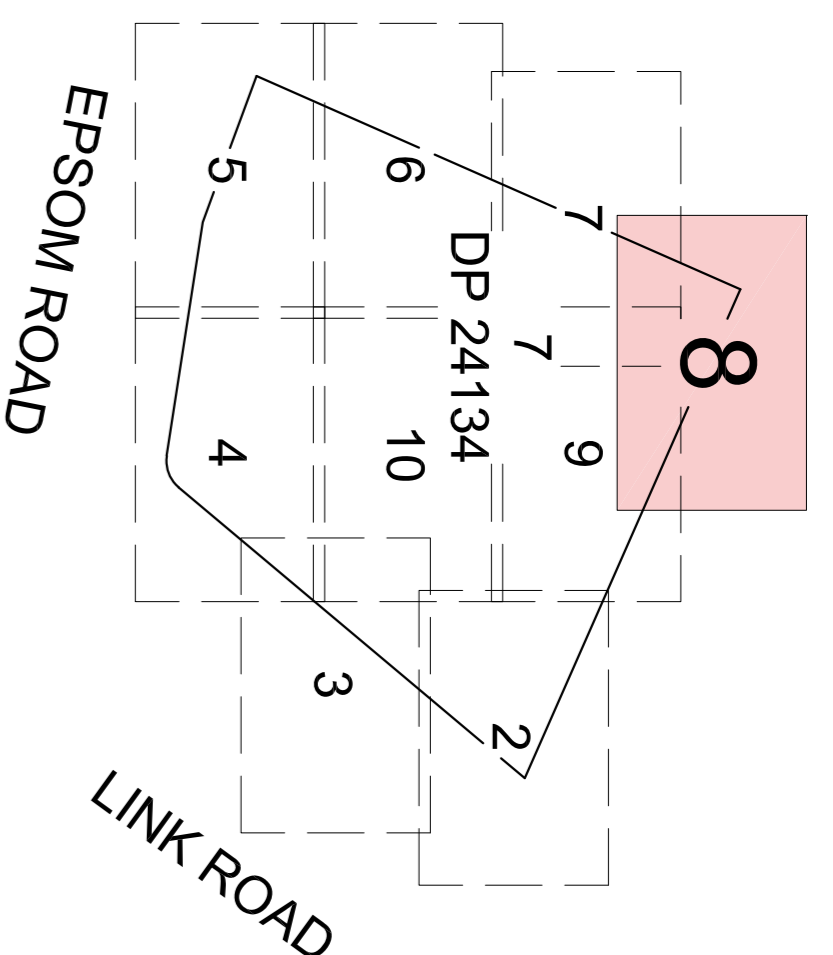
SHEET 4 ADJOINS

Australia New Zealand		Building Measurement Specialist		DATE		PLAN PREPARED FOR:		DATE : 16-05-2020		DESCRIPTION:	
REALSERVE		Consulting Land Surveyors		REV		SUTTONS GROUP OF COMPANIES		SURVEY : RL		PLAN SHOWING SELECT FEATURES & LEVELS	
Start confident.		3D Laser Scanning		COMMENTS		ORIGIN OF LEVELS : SSM 49315		DRAWN : RL		LOT 7 IN DP 24314	
ph. 02 9629 9377		www.realserve.com.au				CONTOUR INTERVAL : 0.25m		CHECKED : DM		BEING NO. 118-130 EPSOM ROAD, ZETTLAND, 2017	
						SHEET No. 5 OF 10					
						REF : 75183RL					

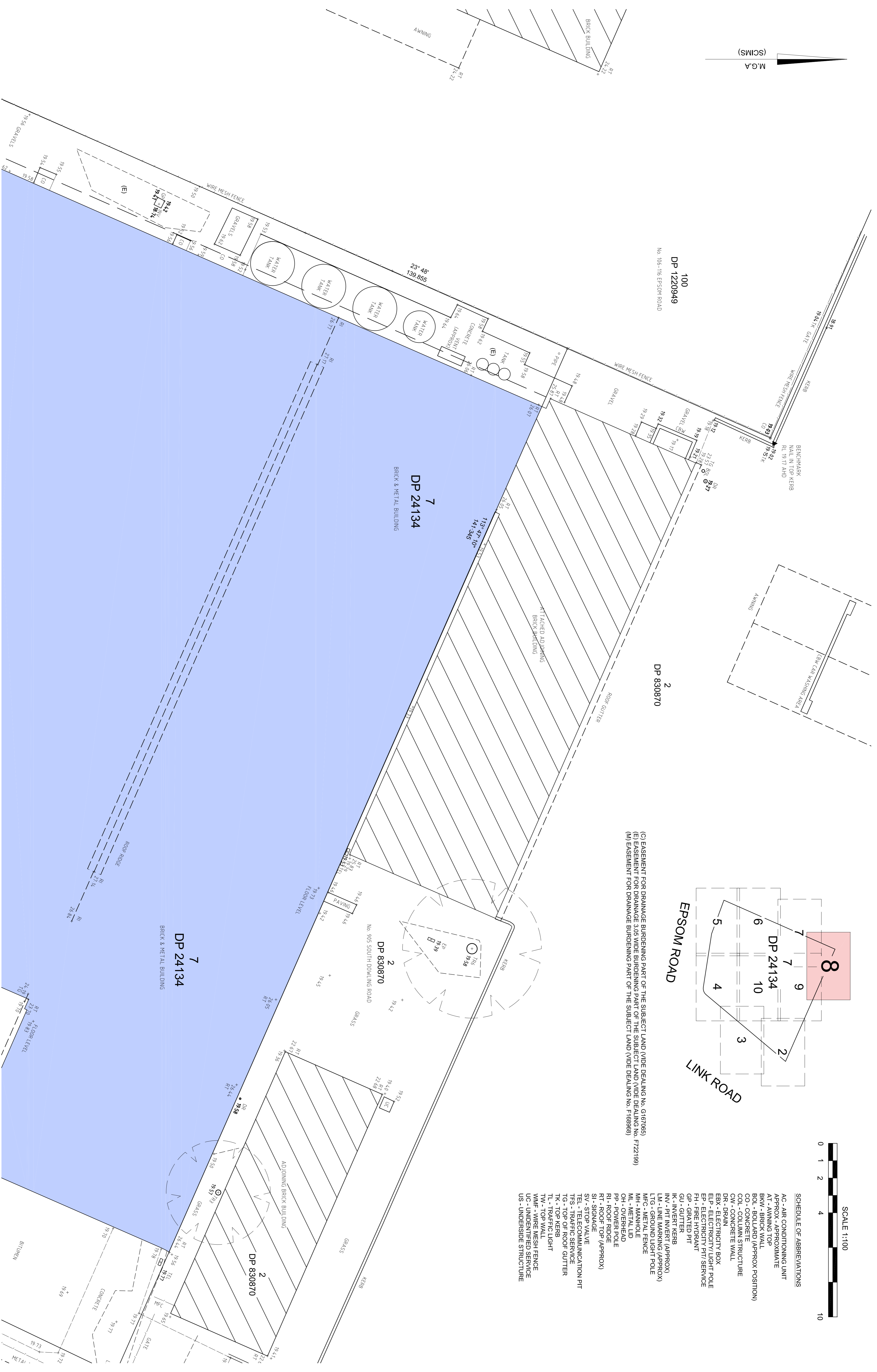


100
DP 1220949
No. 106-116 EPSOM ROAD

2
DP 830870



- (C) EASEMENT FOR DRAINAGE BURDENING PART OF THE SUBJECT LAND (VIDE DEALING NO. G167065)
 (E) EASEMENT FOR DRAINAGE 305 WIDE BURDENING PART OF THE SUBJECT LAND (VIDE DEALING NO. F722199)
 (M) EASEMENT FOR DRAINAGE BURDENING PART OF THE SUBJECT LAND (VIDE DEALING NO. F168989)
- SCHEDULE OF ABBREVIATIONS
- AC - AIR CONDITIONING UNIT
 - APPROX - APPROXIMATE
 - RT - RAMPING TOP
 - BOI - BOILER (APPROX POSITION)
 - CO - CONCRETE
 - COL - COLUMN STRUCTURE
 - CM - CONCRETE WALL
 - DR - DRAIN
 - EBX - ELECTRICITY BOX
 - EP - ELECTRICITY/LIGHT POLE
 - EP - ELECTRICITY PIT/SERVICE
 - FH - FIRE HYDRANT
 - GP - GRATED PIT
 - GU - GUTTER
 - IK - INVERT KERB
 - INV - INVERT (APPROX)
 - LM - LINE MARKING (APPROX)
 - MFC - METAL FENCE
 - MH - MANHOLE
 - ML - METAL LID
 - OH - OVERHEAD
 - PP - POWER POLE
 - RI - ROOF RIDGE
 - RT - ROOF TOP (APPROX)
 - SI - SIGNAGE
 - SV - STOP VALVE
 - TEL - TELECOMMUNICATION PIT
 - TG - TOP OF ROOF GUTTER
 - TK - TOP KERB
 - TL - TRAFFIC LIGHT
 - WMF - WIRE MESH FENCE
 - UC - UNDERPIED SERVICE
 - US - UNDERSIDE STRUCTURE



SHEET 7 ADJOINS

SHEET 9 ADJOINS

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 3D Laser Scanning
 ph. 02 9629 9377
 www.realserve.com.au

DATE	REV	COMMENTS

PLAN PREPARED FOR:
SUTTONS GROUP OF COMPANIES

DATUM: A.H.D.	SCALE: 1:100 @ A1	DATE: 16-05-2020
ORIGIN OF LEVELS: SSM 49315	LOCALITY: LONGUEVILLE	SURVEY: RL
CONTOUR INTERVAL: 0.25m	L.G.A.: LANE COVE	DRAWN: RL
SHEET No. 8 OF 10	REF: 75183RL	CHECKED: DM

DESCRIPTION:
PLAN SHOWING SELECT FEATURES & LEVELS
 LOT 7 IN DP 24314
 BEING NO. 118-130 EPSOM ROAD, ZETTLAND, 2017

SURVEYOR'S REPORT

Date: 20th May 2020

Our Ref: 75813

Instructed By: Suttons Group of Companies

Re: 118-130 Epsom Road, Zetland, NSW, 2017

Further to your instructions and for your private use we have surveyed, where accessible & for identification purposes only, the land comprised in Computer Folio Certificate Title Reference:

- 7/24134 being Lot 7 in Deposited Plan 24134

The Folio Certificate Search as obtained from NSW Land Registry Services is certified to 20/05/2020.

Location of Subject Land

Locality: Zetland

Local Government Area: Sydney

Parish: Alexandria

County: Cumberland

The subject land is known as No. 118-130 Epsom Road has road frontages to Epsom Road and Link Road.

The area of the subject land is 1.618 ha (by Survey Calculation).

Improvements on the Subject Land

Erected on the subject land is a brick and metal industrial and office building attached to the building erected on the adjacent property, a metal building structure, a glass and metal building and a concrete, metal and glass building with carparking under. These building structures as surveyed generally stand within the subject property and the location relative to subject property boundaries is as shown on the accompanying plan. Encroachments are as noted below.

Fencing

The land is partially walled & fenced as shown on the accompanying plan.

Encroachments

In our opinion:

- The northern part of two shelter structures erected on the subject land stand and overhang over the adjoining land to the north (Lot 2 DP 830870) by up to 2.89 metres as shown.
- Part of the southern face of a concrete block wall erected on the adjoining land to the north (Lot 2 DP 830870) stands over the subject land by 0.07 metres as shown on the accompanying plan.
- The northern part of a bus shelter structure erected on Epsom Road to the south overhangs over the subject land by 0.43 metres as shown.

Apart from fencing irregularities shown on the accompanying plan there appears to be no further visible encroachments by or upon the subject property as surveyed & where accessible.

Registered Encumbrances, Easements and Interests

Lot 7 DP 24134

1. Reservations and conditions in the Crown Grant(s).
2. Drainage Easement burdening the subject land (vide Dealing No. F168968) designated (M) as shown on the accompanying plan.
3. Easement for Drainage burdening the subject land (vide Dealing No. F722199) designated (E) as shown.
4. Covenant (vide Dealing No. F722199).
5. Easement for Drainage burdening the subject land (vide Dealing No. G167065) designated (C) as shown.

Boundary Reinstatement

The boundaries have been identified from title dimensions and survey measurements to marks & monuments recorded on existing registered survey plans of the subject and adjoining lands.

This report and accompanying plan have been prepared for Identification purposes only and as such is not a new survey of the title dimensions and should not be used for any other purpose other than to identify the subject land.

This survey & report is not registered at NSW Land Registry Services. Subsequent registered or other surveys in the area may affect boundary definition as shown in this report. Any differences so caused to the boundary definition in this report are beyond the control of the signing Registered Surveyor who can accept no responsibility for such differences.

This report is to be read in conjunction with the accompanying Plan of Identification Survey.



.....
David McCulloch (Registered Surveyor – Surveyor ID: 125)

Attachments

- *Plan of Identification Survey*

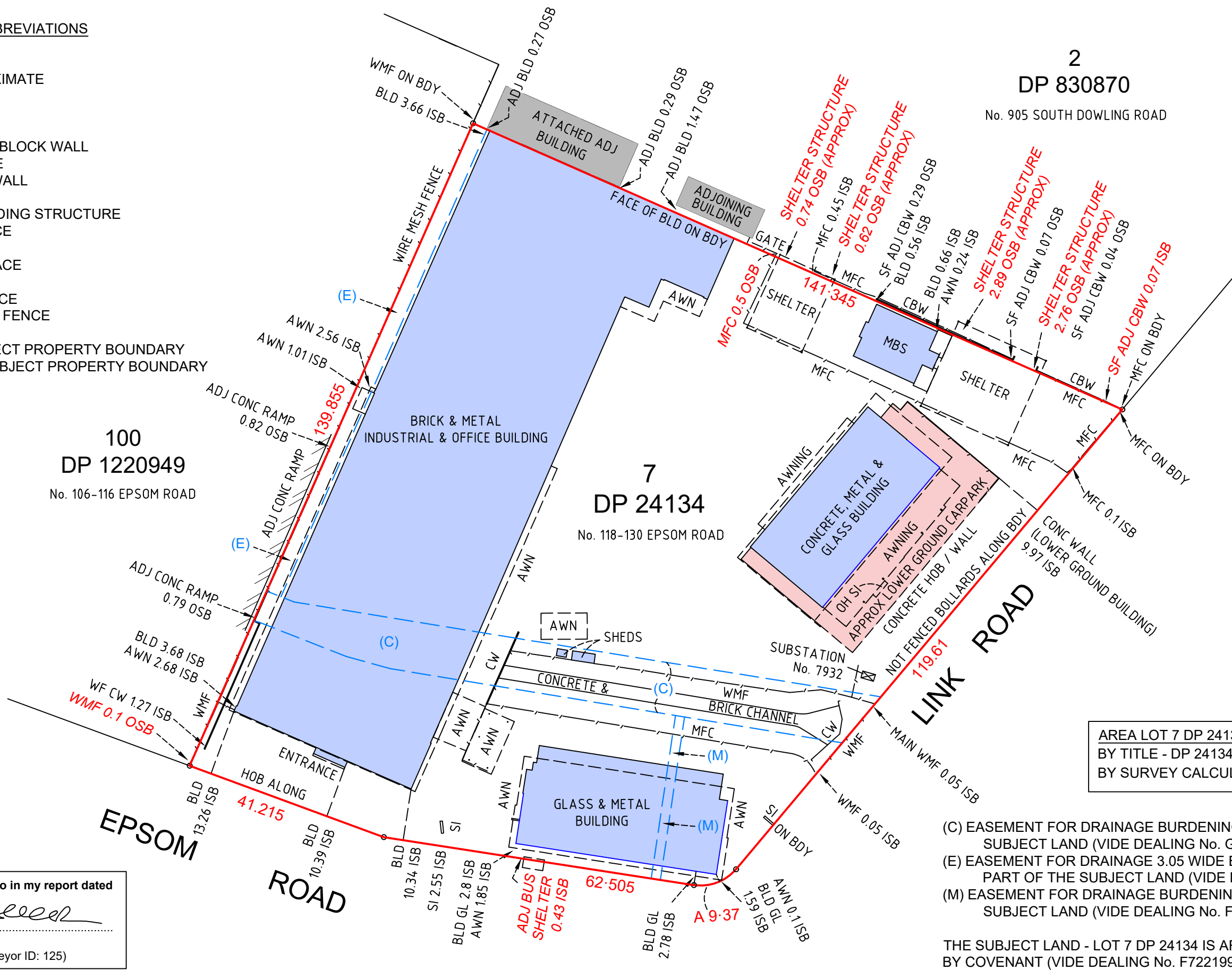
SCHEDULE OF ABBREVIATIONS

ADJ - ADJOINING
 APPROX - APPROXIMATE
 AWN - AWNING
 BDY - BOUNDARY
 BLD - BUILDING
 CBW - CONCRETE BLOCK WALL
 CONC - CONCRETE
 CW - CONCRETE WALL
 GL - GLASS LINE
 MBS - METAL BUILDING STRUCTURE
 MFC - METAL FENCE
 OH - OVERHEAD
 SF - SOUTHERN FACE
 SI - SIGNAGE
 WF - WESTERN FACE
 WMF - WIRE MESH FENCE

ISB - INSIDE SUBJECT PROPERTY BOUNDARY
 OSB - OUTSIDE SUBJECT PROPERTY BOUNDARY

2
DP 830870
 No. 905 SOUTH DOWLING ROAD

M.G.A.



100
DP 1220949
 No. 106-116 EPSOM ROAD

7
DP 24134
 No. 118-130 EPSOM ROAD

AREA LOT 7 DP 24134:
 BY TITLE - DP 24134 - 1.619 ha
 BY SURVEY CALCULATION - 1.618 ha

- (C) EASEMENT FOR DRAINAGE BURDENING PART OF THE SUBJECT LAND (VIDE DEALING No. G167065)
- (E) EASEMENT FOR DRAINAGE 3.05 WIDE BURDENING PART OF THE SUBJECT LAND (VIDE DEALING No. F722199)
- (M) EASEMENT FOR DRAINAGE BURDENING PART OF THE SUBJECT LAND (VIDE DEALING No. F168968)

THE SUBJECT LAND - LOT 7 DP 24134 IS AFFECTED BY COVENANT (VIDE DEALING No. F722199)

This is the plan referred to in my report dated 20-05-2020

 David McCulloch
 Registered surveyor (Surveyor ID: 125)

Plan Prepared for:
SUTTONS GROUP OF COMPANIES
 Disclaimer: This plan has been prepared for Identification purposes only and as such is not a new survey of the title dimensions. This plan should not be used for any other purpose other than to identify the parcel of land.

PLAN OF IDENTIFICATION SURVEY
 LOT 7 IN DP 24134
 No. 118-130 EPSOM ROAD, ZETLAND
 LGA : SYDNEY

Date: 20-05-2020
 Ref: 75183RL Rev: -
 Scale: NOT TO SCALE

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GENERAL/SPECIFIC NOTES

THESE NOTES ARE AN INTEGRAL PART OF THIS PLAN. THE INFORMATION SHOWN ON THIS PLAN OR IN THE ASSOCIATED CAD FILE IS SUPPLIED ON THE CONDITION THAT THESE GENERAL NOTES ARE ALWAYS SHOWN/PRINT ON ANY COPY OR EXTRACT OF THE HAND COPIED/A FILE.

LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (AHD). THE ORIGIN OF WHICH IS SSM 49315 RL 21.562 AHD (SOURCE SCIMS 15-05-2020).

THE LOCATION OF PROPERTY BOUNDARIES HAVE BEEN COMPILED FROM SURVEY MEASUREMENTS & REGISTERED PLANS OBTAINED FROM NSW LAND REGISTRY SERVICES & REPRESENT TITLE DIMENSIONS.

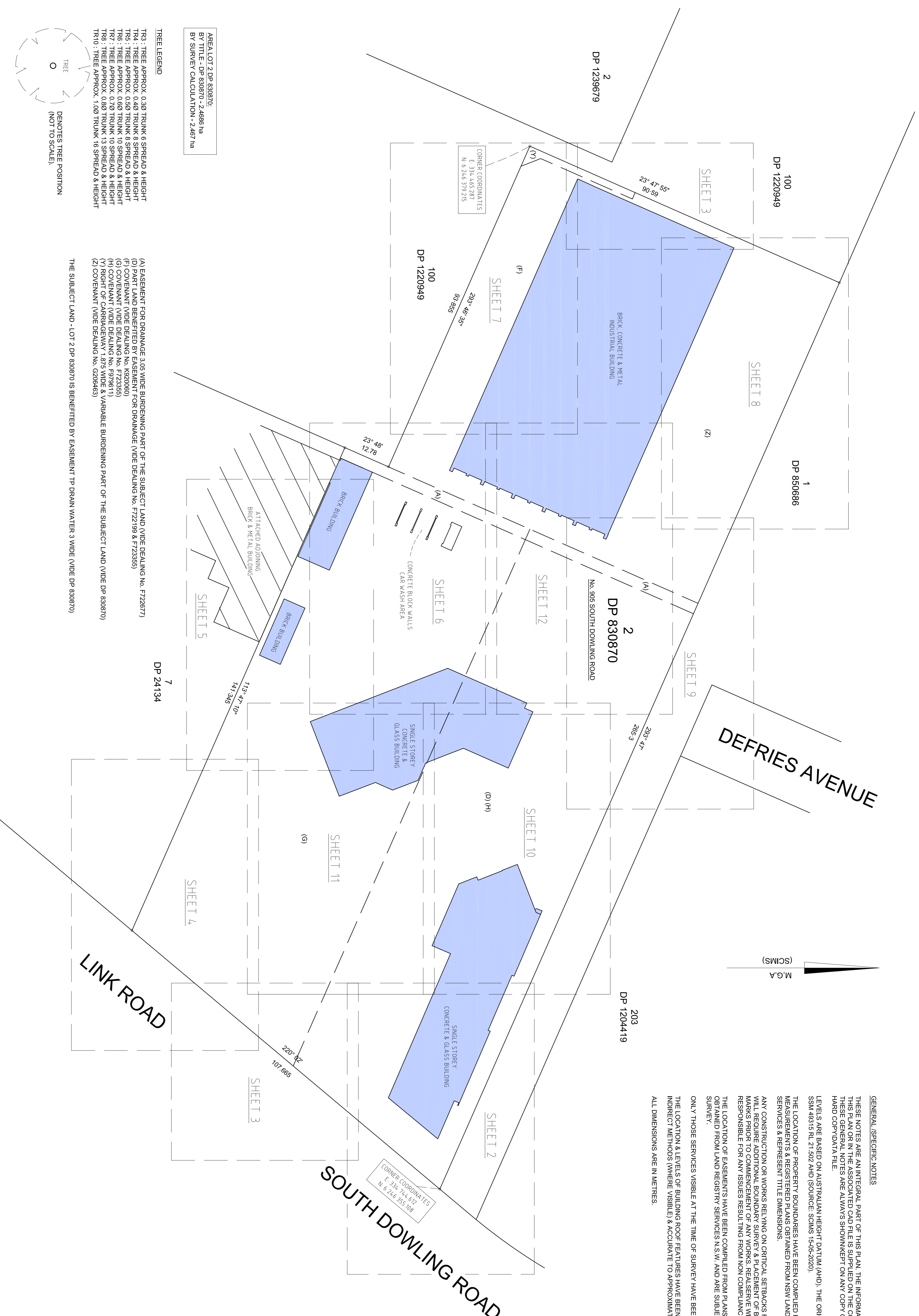
ANY CONSTRUCTION OR WORKS RELYING ON CRITICAL SETBACKS FROM BOUNDARIES WILL REQUIRE ADDITIONAL BOUNDARY SURVEY & PLACEMENT OF BOUNDARY/SETOUT MARKS PRIOR TO COMMENCEMENT OF ANY WORKS. REALSERVE WILL NOT BE HELD RESPONSIBLE FOR ANY ISSUES RESULTING FROM NON COMPLIANCE WITH THIS ADVICE.

THE LOCATION OF EASEMENTS HAVE BEEN COMPILED FROM PLANS & RECORDS OBTAINED FROM LAND REGISTRY SERVICES NSW AND ARE SUBJECT TO FINAL SURVEY.

ONLY THOSE SERVICES VISIBLE AT THE TIME OF SURVEY HAVE BEEN LOCATED.

THE LOCATION & LEVELS OF BUILDING ROOF FEATURES HAVE BEEN DETERMINED BY INDIRECT METHODS (WHERE VISIBLE) & ACCURATE TO APPROXIMATELY +0.02m.

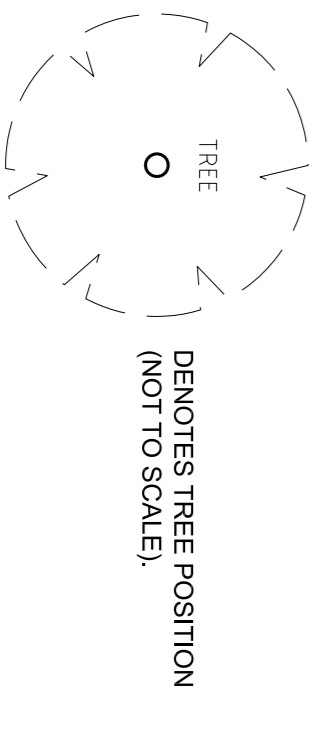
ALL DIMENSIONS ARE IN METRES.



AREA LOT 2 DP 830870:
BY TITLE - DP 830870 - 2.4686 ha
BY SURVEY CALCULATION - 2.467 ha

TREE LEGEND

- TR3 : TREE APPROX. 0.30 TRUNK 6 SPREAD & HEIGHT
- TR4 : TREE APPROX. 0.40 TRUNK 8 SPREAD & HEIGHT
- TR5 : TREE APPROX. 0.50 TRUNK 6 SPREAD & HEIGHT
- TR6 : TREE APPROX. 0.60 TRUNK 8 SPREAD & HEIGHT
- TR7 : TREE APPROX. 0.70 TRUNK 10 SPREAD & HEIGHT
- TR8 : TREE APPROX. 0.80 TRUNK 13 SPREAD & HEIGHT
- TR9 : TREE APPROX. 1.00 TRUNK 16 SPREAD & HEIGHT



- (A) EASEMENT FOR DRAINAGE 3.05 WIDE BURDENING PART OF THE SUBJECT LAND (VIDE DEALING NO. F722677)
- (D) PART LAND BENEFITED BY EASEMENT FOR DRAINAGE (VIDE DEALING NO. K920080)
- (F) COVENANT (VIDE DEALING NO. K920080)
- (G) COVENANT (VIDE DEALING NO. F723355)
- (H) COVENANT (VIDE DEALING NO. F723355)
- (I) COVENANT (VIDE DEALING NO. F723355)
- (J) COVENANT (VIDE DEALING NO. F723355)
- (K) COVENANT (VIDE DEALING NO. F723355)
- (L) COVENANT (VIDE DEALING NO. F723355)
- (M) COVENANT (VIDE DEALING NO. F723355)
- (N) COVENANT (VIDE DEALING NO. F723355)
- (O) COVENANT (VIDE DEALING NO. F723355)
- (P) COVENANT (VIDE DEALING NO. F723355)
- (Q) COVENANT (VIDE DEALING NO. F723355)
- (R) COVENANT (VIDE DEALING NO. F723355)
- (S) COVENANT (VIDE DEALING NO. F723355)
- (T) COVENANT (VIDE DEALING NO. F723355)
- (U) COVENANT (VIDE DEALING NO. F723355)
- (V) COVENANT (VIDE DEALING NO. F723355)
- (W) COVENANT (VIDE DEALING NO. F723355)
- (X) COVENANT (VIDE DEALING NO. F723355)
- (Y) COVENANT (VIDE DEALING NO. F723355)
- (Z) COVENANT (VIDE DEALING NO. F723355)

THE SUBJECT LAND - LOT 2 DP 830870 IS BENEFITED BY EASEMENT TP DRAIN WATER 3 WIDE (VIDE DP 830870)

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Consulting Land Surveyors
3D Laser Scanning

DATE	REV	COMMENTS

PLAN PREPARED FOR:
SUTTONS GROUP OF COMPANIES

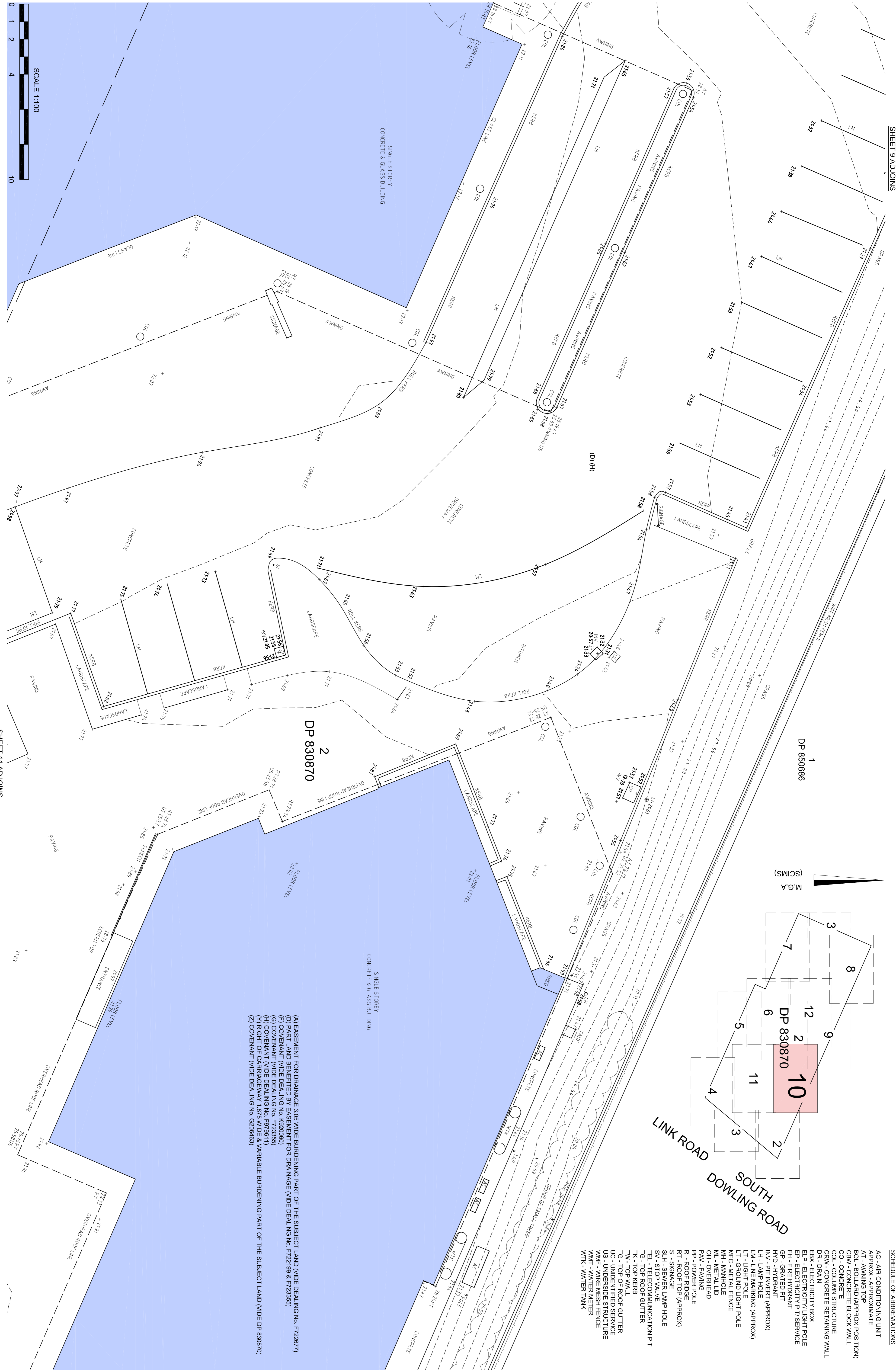
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ORIGIN OF LEVELS : SSM 49315	LOCALITY : LONGUEVILLE	SURVEY : RL
CONTOUR INTERVAL : 0.25m	L.G.A. : LANE COVE	DRAWN : RL
SHEET No. 1 OF 12	REF : 75182RL	CHECKED : DM

DESCRIPTION:
**PLAN SHOWING GENERAL SITE CONDITIONS
LOT 2 IN DP 830870
BEING NO. 905 SOUTH DOWLING STREET, ZETLAND, 2017**

SHEET 12 ADJOINS

SHEET 9 ADJOINS

SHEET 6 ADJOINS

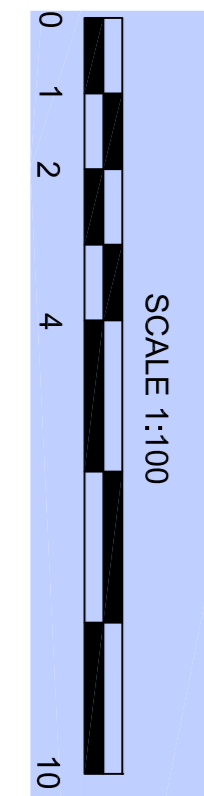


SHEET 2 ADJOINS

SCHEDULE OF ABBREVIATIONS

AC	- AIR CONDITIONING UNIT
APPROX	- APPROXIMATE
AT	- AWNING TOP
BOL	- BOLLARD (APPROX POSITION)
CBW	- CONCRETE BLOCK WALL
CO	- CONCRETE
COL	- COLUMN STRUCTURE
CRW	- CONCRETE RETAINING WALL
DR	- DRAIN
EBX	- ELECTRICITY BOX
ELP	- ELECTRICITY LIGHT POLE
EP	- ELECTRICITY PIV SERVICE
FR	- FIRE HYDRANT
GH	- GROUND HOLE
HD	- PIT INVERT (APPROX)
IMV	- PIT INVERT (APPROX)
LH	- LAMP HOLE
LM	- LINE MARKING (APPROX)
LT	- LIGHT POLE
LT	- GROUND LIGHT POLE
MFC	- METAL FENCE
MH	- MANHOLE
OH	- OVERHEAD
PAV	- PAVING
PP	- POWER POLE
RI	- ROOF RIDGE
SI	- SIGNAGE TOP (APPROX)
SL	- SIGNAGE LAMP HOLE
SV	- STOP VALVE
TEL	- TELECOMMUNICATION PIT
TG	- TOP ROOF GUTTER
TK	- TOP ROOF
TV	- TOP WALL
TV	- TOP OF ROOF GUTTER
UC	- UNIDENTIFIED SERVICE
US	- UNDERSIDE STRUCTURE
WMF	- WIRE MESH FENCE
WMT	- WATER METER
WTK	- WATER TANK

- (A) EASEMENT FOR DRAINAGE 3.05 M WIDE BURDENING PART OF THE SUBJECT LAND (VIDE DEALING NO. FT22677)
- (D) PART LAND BENEFITED BY EASEMENT FOR DRAINAGE (VIDE DEALING NO. FT22199 & FT23355)
- (F) COVENANT (VIDE DEALING NO. K920080)
- (G) COVENANT (VIDE DEALING NO. FT23355)
- (H) COVENANT (VIDE DEALING NO. FT23355)
- (V) RIGHT OF CARRIAGEWAY 1.875 M WIDE & VARIABLE BURDENING PART OF THE SUBJECT LAND (VIDE DP 830870)
- (Z) COVENANT (VIDE DEALING NO. G200463)



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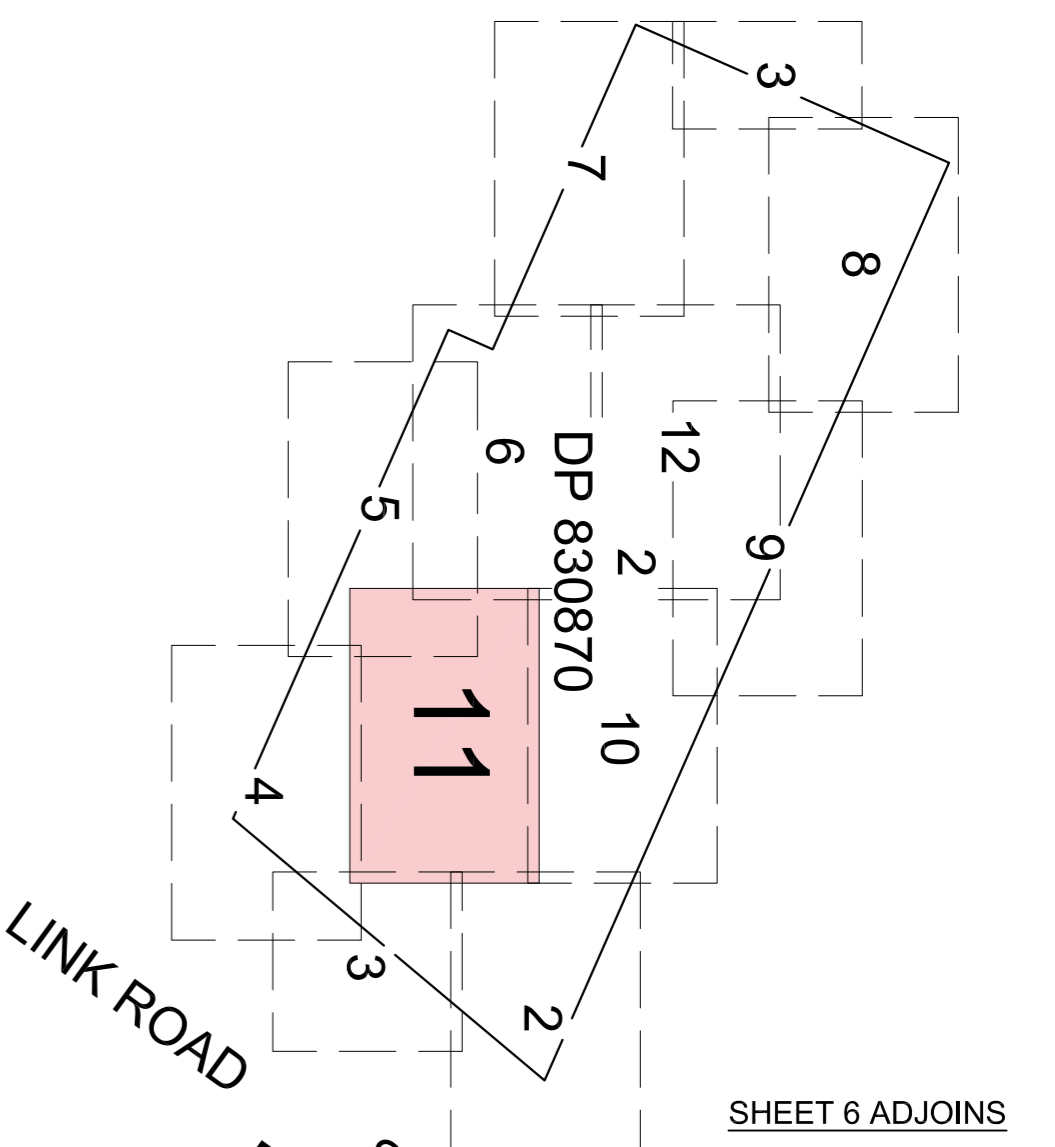
DATE	REV	COMMENTS

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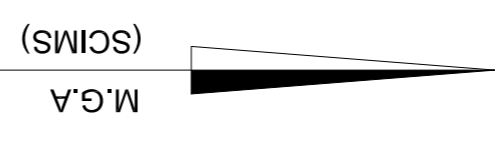
PLAN PREPARED FOR:
SUTTONS GROUP OF COMPANIES

DATE: A.H.D.	SCALE: 1:100 @ A1
ORIGIN OF LEVELS: SSM 49315	LOCALITY: LONGUEVILLE
CONTOUR INTERVAL: 0.25m	L.G.A.: LANE COVE
SHEET No. 10 OF 12	REF: 75182RL
	CHECKED: DM

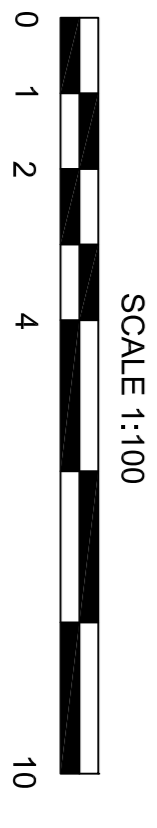
DESCRIPTION:
PLAN SHOWING SELECT FEATURES & LEVELS
 LOT 2 IN DP 830870
 BEING NO. 905 SOUTH DOWLING STREET, ZETLAND, 2017



- (A) EASEMENT FOR DRAINAGE 3.05 WIDE BURDENING PART OF THE SUBJECT LAND (VIDE DEALING NO. F722677)
- (D) PART LAND BURDENED BY EASEMENT FOR DRAINAGE (VIDE DEALING NO. F722199 & F723355)
- (F) COVENANT (VIDE DEALING NO. K920060)
- (G) COVENANT (VIDE DEALING NO. F723355)
- (H) COVENANT (VIDE DEALING NO. F979811)
- (I) RIGHT OF CARRIAGEWAY 1.875 WIDE & VARIABLE BURDENING PART OF THE SUBJECT LAND (VIDE DP 830870)
- (Z) COVENANT (VIDE DEALING NO. G206463)



- SCHEDULE OF ABBREVIATIONS**
- AC - AIR CONDITIONING UNIT
 - APPROX. - APPROXIMATE
 - AT - AWNING TOP
 - BOL - BOLTED (APPROX POSITION)
 - COL - CONCRETE BLOCK WALL
 - CO - CONCRETE
 - CRW - CONCRETE RETAINING WALL
 - DR - DRAIN
 - EBX - ELECTRICITY BOX
 - ELP - ELECTRICITY LIGHT POLE
 - EP - ELECTRICITY PIT SERVICE
 - FH - FIRE HYDRANT
 - GP - GRATED PIT
 - HYD - HYDRANT
 - INV - PIT INVERT (APPROX)
 - LH - LAMP HOLE
 - LM - LINE MARKING (APPROX)
 - LT - LIGHT TOWER
 - LS - LIGHT SIGNAL LIGHT POLE
 - MFC - METAL FENCE
 - MH - MANHOLE
 - ML - METAL LID
 - OH - OVERHEAD
 - PAV - PAVING
 - PP - POWER POLE
 - RI - ROOF RIDGE
 - RT - ROOF TOP (APPROX)
 - SI - SIGNAGE
 - SLH - SEWER LAMP HOLE
 - SV - STOP VALVE
 - TEL - TELECOMMUNICATION PIT
 - TG - TOP ROOF - GUTTER
 - TK - TOP KERB
 - TR - TOP ROOF
 - TC - TOP OF ROOF GUTTER
 - UC - UNIDENTIFIED SERVICE
 - US - UNDERSIDE STRUCTURE
 - WMF - WIRE MESH FENCE
 - WMT - WATER METER
 - WTK - WATER TANK



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DATE	REV	COMMENTS

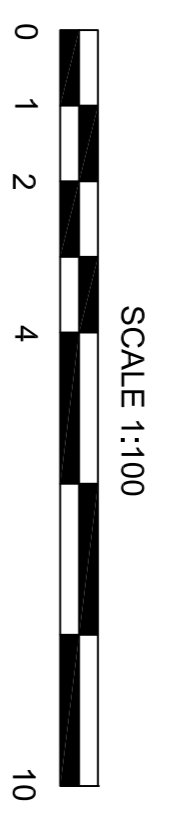
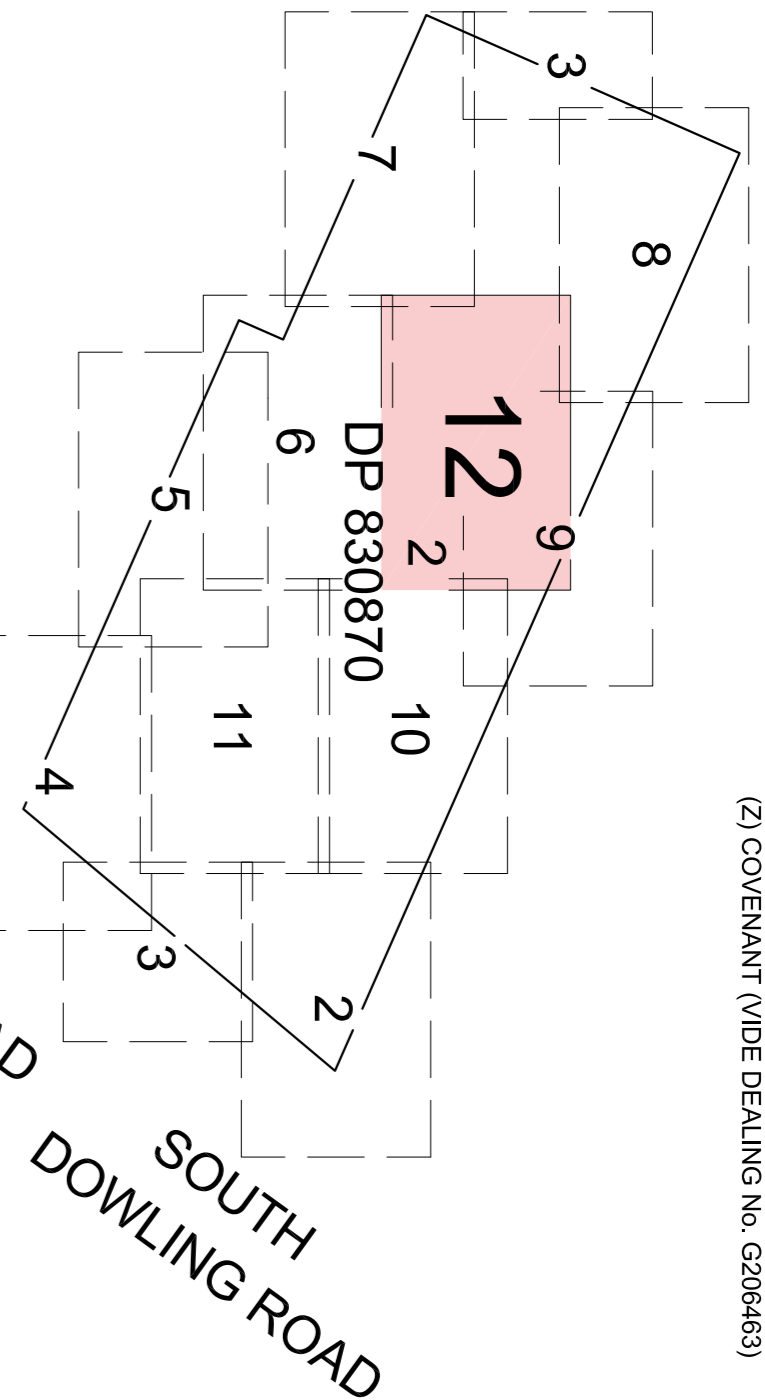
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PLAN PREPARED FOR:	DATE:	REV:	COMMENTS:
SUTTONS GROUP OF COMPANIES			

DATUM: A.H.D.	SCALE: 1:100 @ A1	DATE: 16-05-2020	DESCRIPTION:
ORIGIN OF LEVELS: SSM 49315	LOCALITY: LONGUEVILLE	SURVEY: RL	PLAN SHOWING SELECT FEATURES & LEVELS
CONTOUR INTERVAL: 0.25m	L.G.A.: LANE COVE	DRAWN: RL	LOT 2 IN DP 830870
SHEET No. 11 OF 12	REF: 75182RL	CHECKED: DM	BEING NO. 905 SOUTH DOWLING STREET, ZETLAND, 2017



- (A) EASEMENT FOR DRAINAGE 3.05 WIDE BURDENING PART OF THE SUBJECT LAND (VIDE DEALING NO. F722877)
 (D) PART LAND BENEFITED BY EASEMENT FOR DRAINAGE (VIDE DEALING NO. F692069)
 (E) COVENANT (VIDE DEALING NO. F692069)
 (F) COVENANT (VIDE DEALING NO. F722199 & F723359)
 (G) COVENANT (VIDE DEALING NO. F723359)
 (H) COVENANT (VIDE DEALING NO. F729611)
 (I) COVENANT (VIDE DEALING NO. F729611)
 (Y) RIGHT OF CARRIAGEWAY 1.875 WIDE & VARIABLE BURDENING PART OF THE SUBJECT LAND (VIDE DP 830870)
 (Z) COVENANT (VIDE DEALING NO. G206463)



- SCHEDULE OF ABBREVIATIONS
- AC - AIR CONDITIONING UNIT
 - APPROX - APPROXIMATE
 - AT - AWNING TOP
 - BOL - BOLLARD (APPROX POSITION)
 - CBW - CONCRETE BLOCK WALL
 - CO - CONCRETE
 - COL - COLUMN STRUCTURE
 - CON - CONCRETE
 - CR - CONCRETE RETAINING WALL
 - DR - DRAIN
 - EBX - ELECTRICITY BOX
 - EP - ELECTRICITY/LIGHT POLE
 - EP - ELECTRICITY PIT / SERVICE
 - FH - FIRE HYDRANT
 - GP - GRATED PIT
 - HYD - HYDRANT
 - INV - PIT INVERT (APPROX)
 - LH - LAMP HOLE
 - LH - LINE MARKING (APPROX)
 - LT - LIGHT POLE
 - LT - GROUND LIGHT POLE
 - MFC - METAL FENCE
 - MH - MANHOLE
 - OH - OVERHEAD
 - PAV - PAVING
 - PP - POWER POLE
 - RT - ROOF RIDGE
 - RT - ROOF TOP (APPROX)
 - SI - SIGNAGE
 - SV - STOP VALVE
 - SV - SEWER LAMP HOLE
 - SV - STOP VALVE
 - TEL - TELECOMMUNICATION PIT
 - TG - TOP OF ROOF GUTTER
 - TK - TOP KERB
 - TW - TOP WALL
 - TG - TOP OF ROOF GUTTER
 - UC - UNDERFLOORED SERVICE
 - UC - UNDERFLOORED SERVICE
 - WMT - WATER METER
 - WMT - WATER METER
 - WTK - WATER TANK



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DATE	REV	COMMENTS

PLAN PREPARED FOR:
SUTTONS GROUP OF COMPANIES

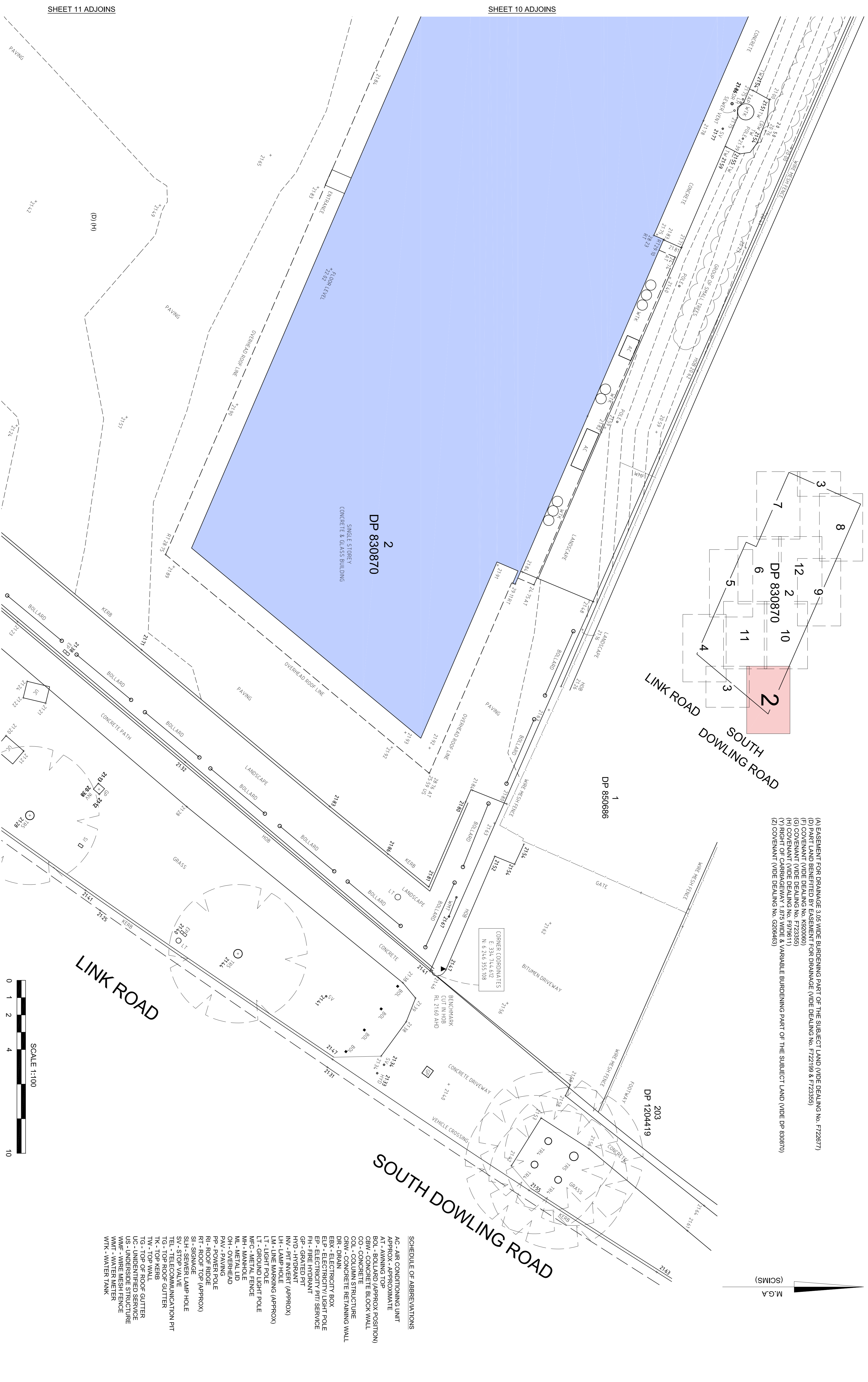
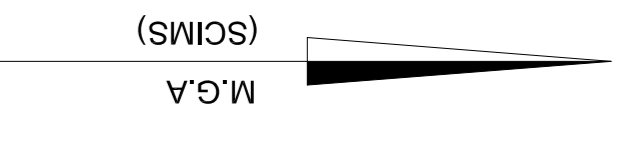
DATUM: A.H.D.	SCALE: 1:100 @ A1	DATE: 15-05-2020
ORIGIN OF LEVELS: SSM 49315	LOCALITY: LONGUEVILLE	SURVEY: RL
CONTOUR INTERVAL: 0.25m	L.G.A.: LANE COVE	DRAWN: RL
SHEET No. 12 OF 12	REF: 75182RL	CHECKED: DM

DESCRIPTION:
PLAN SHOWING SELECT FEATURES & LEVELS
 LOT 2 IN DP 830870
 BEING NO. 905 SOUTH DOWLING STREET, ZETLAND, 2017

SHEET 7 ADJOINS

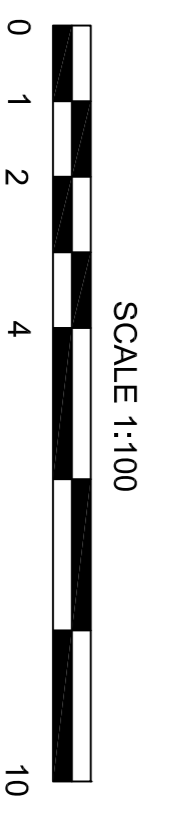
SHEET 10 ADJOINS

- (A) EASEMENT FOR DRAINAGE 3.05 WIDE BURDENING PART OF THE SUBJECT LAND (VIDE DEALING NO. FT725677)
- (D) PART LAND BENEFITED BY EASEMENT FOR DRAINAGE (VIDE DEALING NO. FT23355)
- (F) COVENANT (VIDE DEALING NO. K920060)
- (G) COVENANT (VIDE DEALING NO. FT23355)
- (H) COVENANT (VIDE DEALING NO. FT97871)
- (I) RIGHT OF CARRIAGEWAY 7.675 WIDE & VARIABLE BURDENING PART OF THE SUBJECT LAND (VIDE DP 830870)
- (Z) COVENANT (VIDE DEALING NO. G500465)



SCHEDULE OF ABBREVIATIONS

- AC - AIR CONDITIONING UNIT
- APPROX - APPROXIMATE
- AT - AWNING TOP
- BOL - BOLLARD (APPROX POSITION)
- BM - CONCRETE BLOCK WALL
- CO - CONCRETE
- COL - COLUMN STRUCTURE
- CON - CONCRETE RETAINING WALL
- CRN - CURB
- EBX - ELECTRICITY BOX
- EIP - ELECTRICITY LIGHT POLE
- EP - FIRE HYDRANT
- FP - FIRE HYDRANT
- GP - GRATED PIT
- HYD - HYDRANT
- INV - PIT INVERT (APPROX)
- LH - LAMP HOLE
- LM - LINE MARKING (APPROX)
- LT - LIGHT POLE
- LT - GROUND LIGHT POLE
- MFC - METAL FENCE
- MH - MANHOLE
- MH - MANHOLE
- OH - OVERHEAD
- PP - POWER POLE
- PAY - PAVING
- PP - POWER POLE
- RI - ROOF RIDGE
- RT - ROOF TOP (APPROX)
- SI - SIGNAGE
- SLH - SEWER LAMP HOLE
- SV - STOP VALVE
- TEL - TELECOMMUNICATION PIT
- TG - TOP OF ROOF GUTTER
- TK - TOP KERB
- TW - TOP WALL
- TG - TOP OF ROOF GUTTER
- UC - UNIDENTIFIED SERVICE
- US - UNDERSIDE STRUCTURE
- WMT - WATER METER
- WTN - WATER TANK
- WTK - WATER TANK



SCALE 1:100

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<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>DATE</th> <th>REV</th> <th>COMMENTS</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	DATE	REV	COMMENTS										<p>PLAN PREPARED FOR: SUTTONS GROUP OF COMPANIES</p>
DATE	REV	COMMENTS											
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>DATUM - A.H.D.</th> <th>SCALE: 1:100 @ A1</th> <th>DATE: 15-05-2020</th> </tr> </thead> <tbody> <tr> <td>ORIGIN OF LEVELS: SSM 49315</td> <td>LOCALITY: LONGUEVILLE</td> <td>SURVEY: RL</td> </tr> <tr> <td>CONTOUR INTERVAL: 0.25m</td> <td>L.G.A.: LANE COVE</td> <td>DRAWN: RL</td> </tr> <tr> <td>SHEET NO. 2 OF 12</td> <td>REF: 75182RL</td> <td>CHECKED: DM</td> </tr> </tbody> </table>	DATUM - A.H.D.	SCALE: 1:100 @ A1	DATE: 15-05-2020	ORIGIN OF LEVELS: SSM 49315	LOCALITY: LONGUEVILLE	SURVEY: RL	CONTOUR INTERVAL: 0.25m	L.G.A.: LANE COVE	DRAWN: RL	SHEET NO. 2 OF 12	REF: 75182RL	CHECKED: DM	<p>DESCRIPTION: PLAN SHOWING SELECT FEATURES & LEVELS LOT 2 IN DP 830870 BEING NO. 905 SOUTH DOWLING STREET, ZETLAND, 2017</p>
DATUM - A.H.D.	SCALE: 1:100 @ A1	DATE: 15-05-2020											
ORIGIN OF LEVELS: SSM 49315	LOCALITY: LONGUEVILLE	SURVEY: RL											
CONTOUR INTERVAL: 0.25m	L.G.A.: LANE COVE	DRAWN: RL											
SHEET NO. 2 OF 12	REF: 75182RL	CHECKED: DM											

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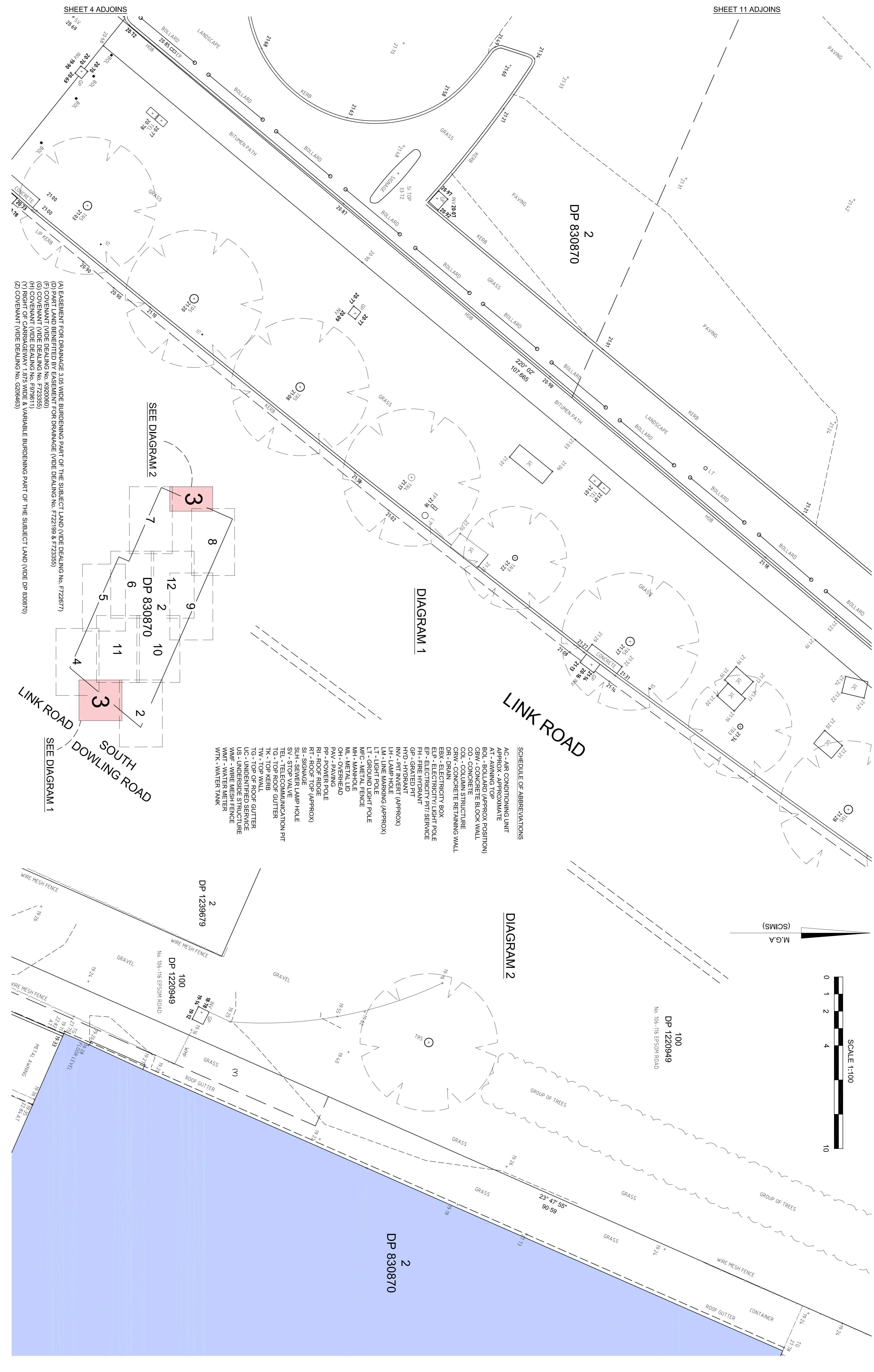
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DATE	REV	COMMENTS

PLAN PREPARED FOR:
SUTTONS GROUP OF COMPANIES

DATUM - A.H.D.	SCALE: 1:100 @ A1	DATE: 15-05-2020
ORIGIN OF LEVELS: SSM 49315	LOCALITY: LONGUEVILLE	SURVEY: RL
CONTOUR INTERVAL: 0.25m	L.G.A.: LANE COVE	DRAWN: RL
SHEET NO. 2 OF 12	REF: 75182RL	CHECKED: DM

DESCRIPTION:
PLAN SHOWING SELECT FEATURES & LEVELS
LOT 2 IN DP 830870
BEING NO. 905 SOUTH DOWLING STREET, ZETLAND, 2017



LINK ROAD

SOUTH DOWLING ROAD

DIAGRAM 1

DIAGRAM 2

- SCHEDULE OF ABBREVIATIONS**
- AC - AIR CONDITIONING UNIT
 - APPROX - APPROXIMATE
 - AT - AWNING TOP
 - BOL - BOLLARD (APPROX POSITION)
 - CON - CONCRETE BLOCK WALL
 - COL - COLUMN STRUCTURE
 - CRM - CONCRETE RETAINING WALL
 - DR - DRAIN
 - EBX - ELECTRICITY BOX
 - ELP - ELECTRICITY LIGHT POLE
 - EP - ELECTRICITY PIT SERVICE
 - FH - FIRE HYDRANT
 - GP - GRATED PIT
 - HYD - HYDRANT
 - INV - PIT INVERT (APPROX)
 - LH - LAMP HOLE
 - LM - LINE MARKING (APPROX)
 - LG - GROUND LIGHT POLE
 - LP - LIGHT POLE
 - MFC - MANHOLE
 - MH - MANHOLE
 - ML - METAL LID
 - OH - OVERHEAD
 - PAV - PAVING
 - PP - POWER POLE
 - RI - ROOF RIDGE
 - RT - ROOF TOP (APPROX)
 - SI - SIGNAGE
 - SLH - SEWER LAMP HOLE
 - SV - STOP VALVE
 - TEL - TELECOMMUNICATION PIT
 - TG - TOP ROOF GUTTER
 - TK - TOP KERB
 - TV - TOP OF GUTTER
 - UC - UNDERPIND SERVICE
 - US - UNDERSIDE STRUCTURE
 - WMF - WIRE MESH FENCE
 - WMF - WIRE MESH FENCE
 - WTK - WATER TANK

- (A) EASEMENT FOR DRAINAGE 3.05 M WIDE BURDENING PART OF THE SUBJECT LAND (VIDE DEALING NO. F722877)
- (D) PART LAND BENEFITED BY EASEMENT FOR DRAINAGE (VIDE DEALING NO. F722198 & F723355)
- (F) COVENANT (VIDE DEALING NO. K920060)
- (G) COVENANT (VIDE DEALING NO. F723355)
- (H) COVENANT (VIDE DEALING NO. F7979611)
- (Y) RIGHT OF CARRIAGEWAY 1.875 M WIDE & VARIABLE BURDENING PART OF THE SUBJECT LAND (VIDE DP 830870)
- (Z) COVENANT (VIDE DEALING NO. G209483)

SEE DIAGRAM 2

SEE DIAGRAM 1

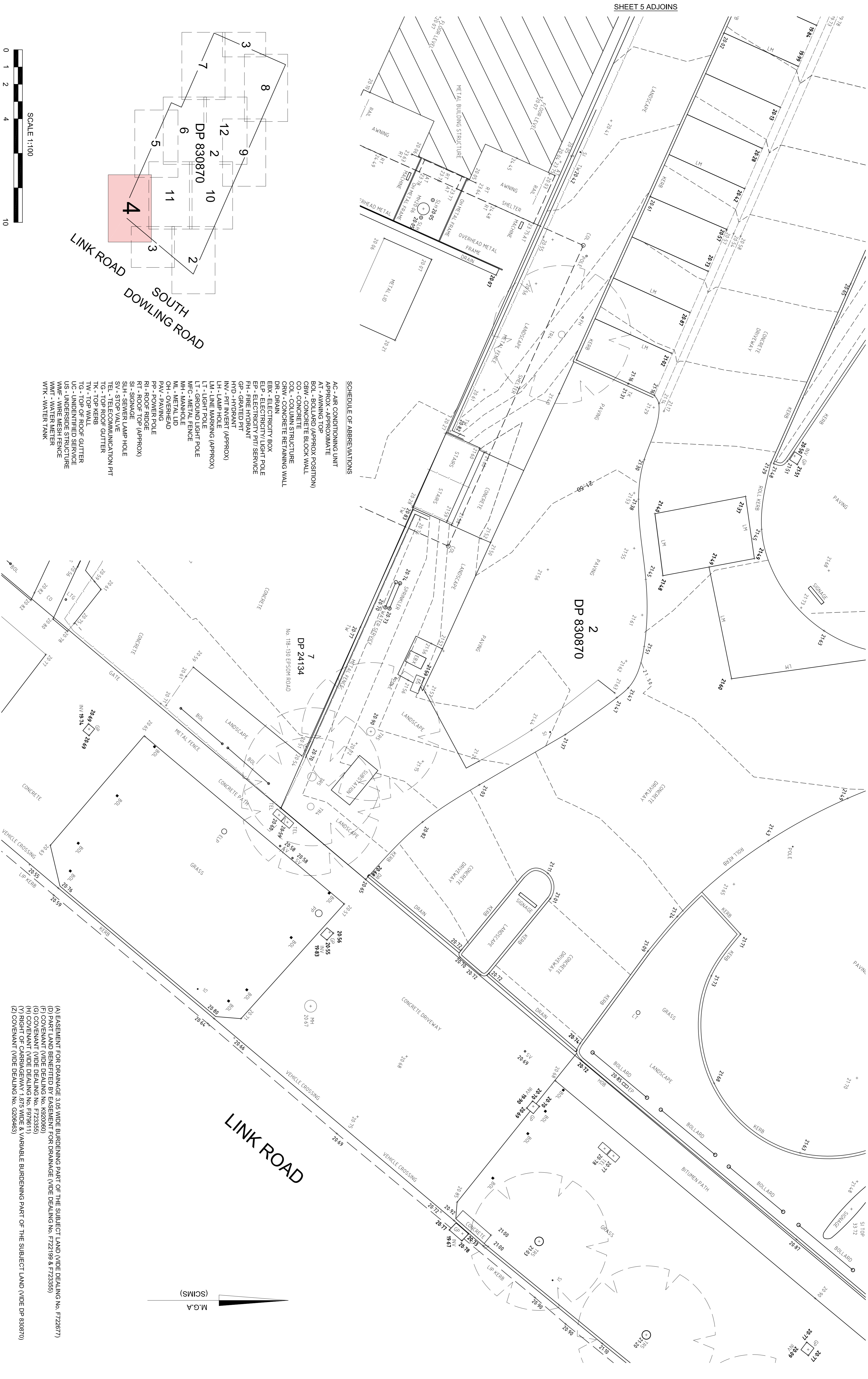
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DATE	REV	COMMENTS

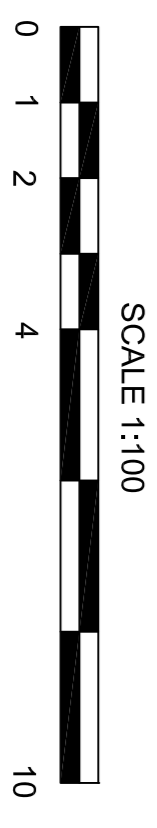
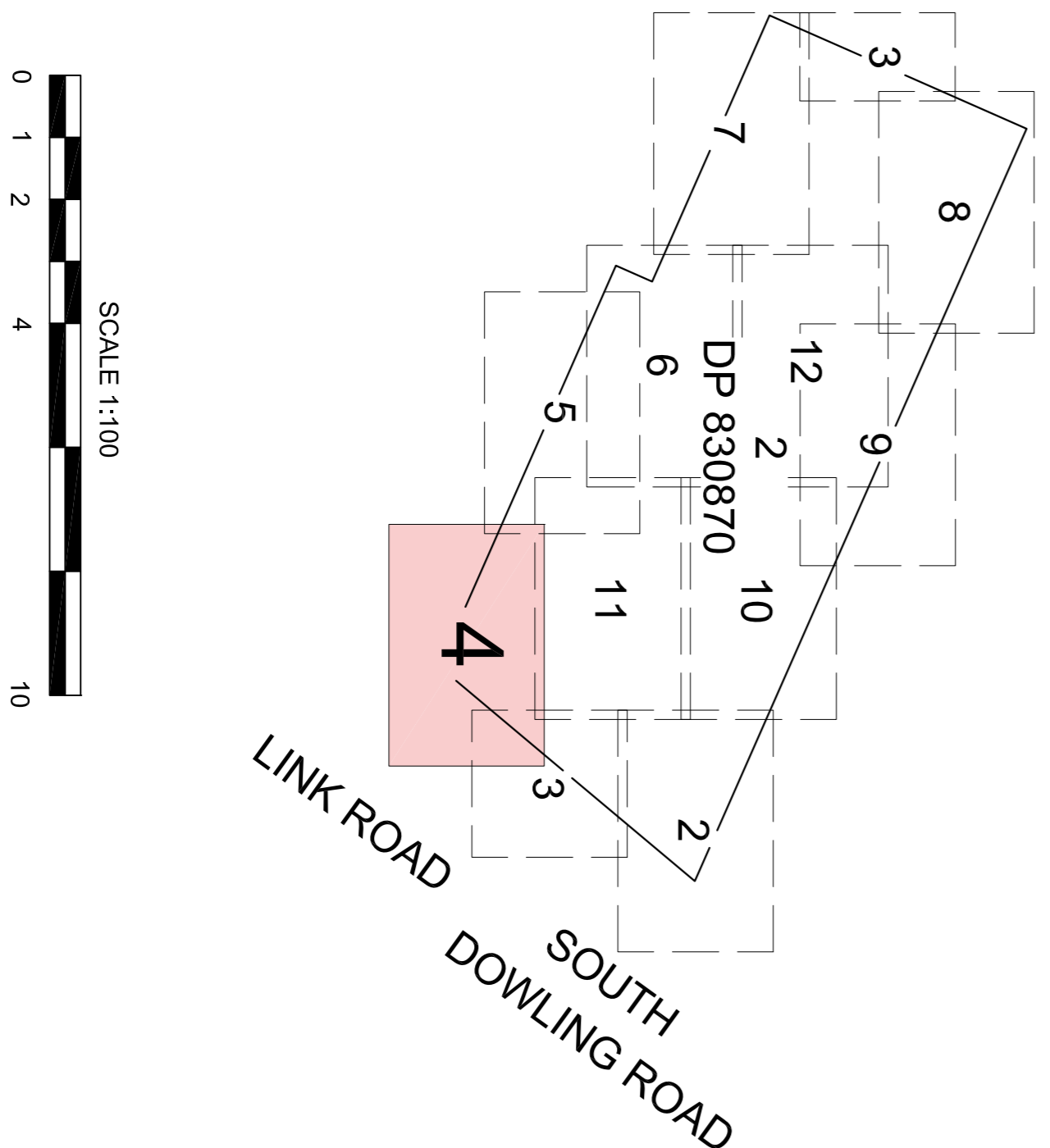
PLAN PREPARED FOR:
SUTTONS GROUP OF COMPANIES

DATUM - A.H.D.	SCALE : 1:100 @ A1	DATE : 15-05-2020
ORIGIN OF LEVELS : SSM 49315	LOCALITY : LONGUEVILLE	SURVEY : RL
CONTOUR INTERVAL : 0.25m	L.G.A. : LANE COVE	DRAWN : RL
SHEET No. 3 OF 12	REF : 75182RL	CHECKED : DM

DESCRIPTION:
PLAN SHOWING SELECT FEATURES & LEVELS
 LOT 2 IN DP 830870
 BEING NO. 905 SOUTH DOWLING STREET, ZETLAND, 2017

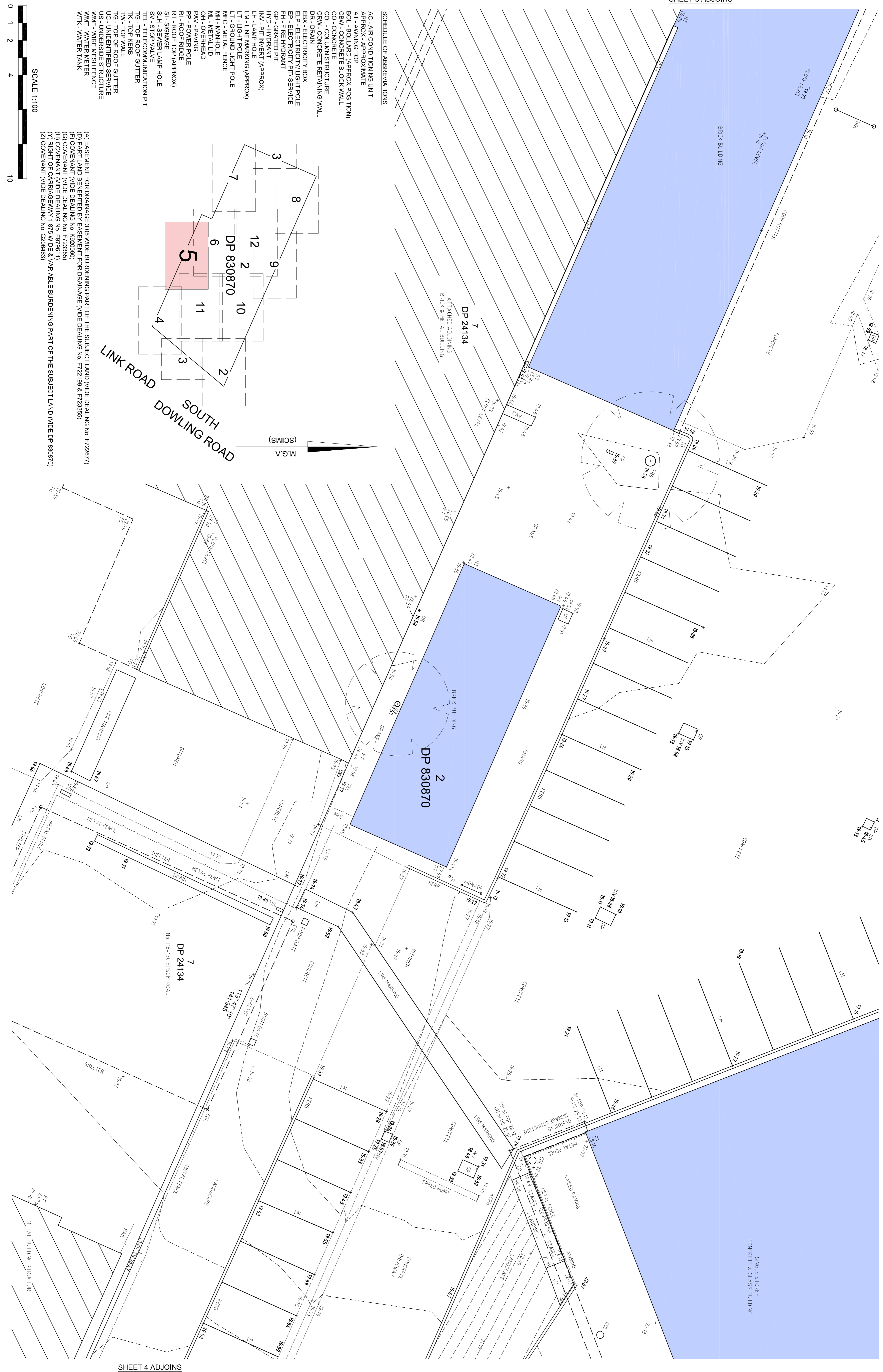


- SCHEDULE OF ABBREVIATIONS**
- AC - AIR CONDITIONING UNIT
 - APPROX - APPROXIMATE
 - A1 - AWNING TOP
 - BOL - BOLLARD (APPROX POSITION)
 - CBW - CONCRETE BLOCK WALL
 - COL - COLUMN STRUCTURE
 - CRW - CONCRETE RETAINING WALL
 - DR - DRAIN
 - EX - ELECTRICITY BOX
 - ELP - ELECTRICITY LIGHT POLE
 - EP - ELECTRICITY PIT SERVICE
 - FH - FIRE HYDRANT
 - GP - GRATED PIT
 - HVD - HYDRANT
 - INV - PIT INVERT (APPROX)
 - LM - LAMP HOLE
 - LM - LINE MARKING (APPROX)
 - LI - LIGHT POLE
 - LI - LIGHT POLE
 - LI - GROUND LIGHT POLE
 - MH - MANHOLE
 - MH - MANHOLE
 - ML - METAL LID
 - OH - OVERHEAD
 - PAY - PAVING
 - PP - POWER POLE
 - RI - ROOF RIDGE
 - RT - ROOF TOP (APPROX)
 - SI - SIGNAGE
 - SLH - SEWER LAMP HOLE
 - SV - STOP VALVE
 - TEL - TELECOMMUNICATION PIT
 - TG - TOP ROOF GUTTER
 - TK - TOP KERB
 - TW - TOP WALL
 - UG - UNDERGROUND GUTTER
 - US - UNDERGROUND SERVICE
 - US - UNDERSIDE STRUCTURE
 - WME - WIRE MESH FENCE
 - WMT - WATER METER
 - WTK - WATER TANK



- (A) EASEMENT FOR DRAINAGE 3.05 M WIDE BURDENING PART OF THE SUBJECT LAND (VIDE DEALING NO. F722877)
- (B) EASEMENT BENEFITED BY EASEMENT FOR DRAINAGE (VIDE DEALING NO. F722877)
- (C) COVENANT (VIDE DEALING NO. K820060)
- (G) COVENANT (VIDE DEALING NO. F723355)
- (H) COVENANT (VIDE DEALING NO. F723355)
- (I) COVENANT (VIDE DEALING NO. F723355)
- (J) COVENANT (VIDE DEALING NO. F723355)
- (K) COVENANT (VIDE DEALING NO. F723355)
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- (T) COVENANT (VIDE DEALING NO. F723355)
- (U) COVENANT (VIDE DEALING NO. F723355)
- (V) COVENANT (VIDE DEALING NO. F723355)
- (W) COVENANT (VIDE DEALING NO. F723355)
- (X) COVENANT (VIDE DEALING NO. F723355)
- (Y) COVENANT (VIDE DEALING NO. F723355)
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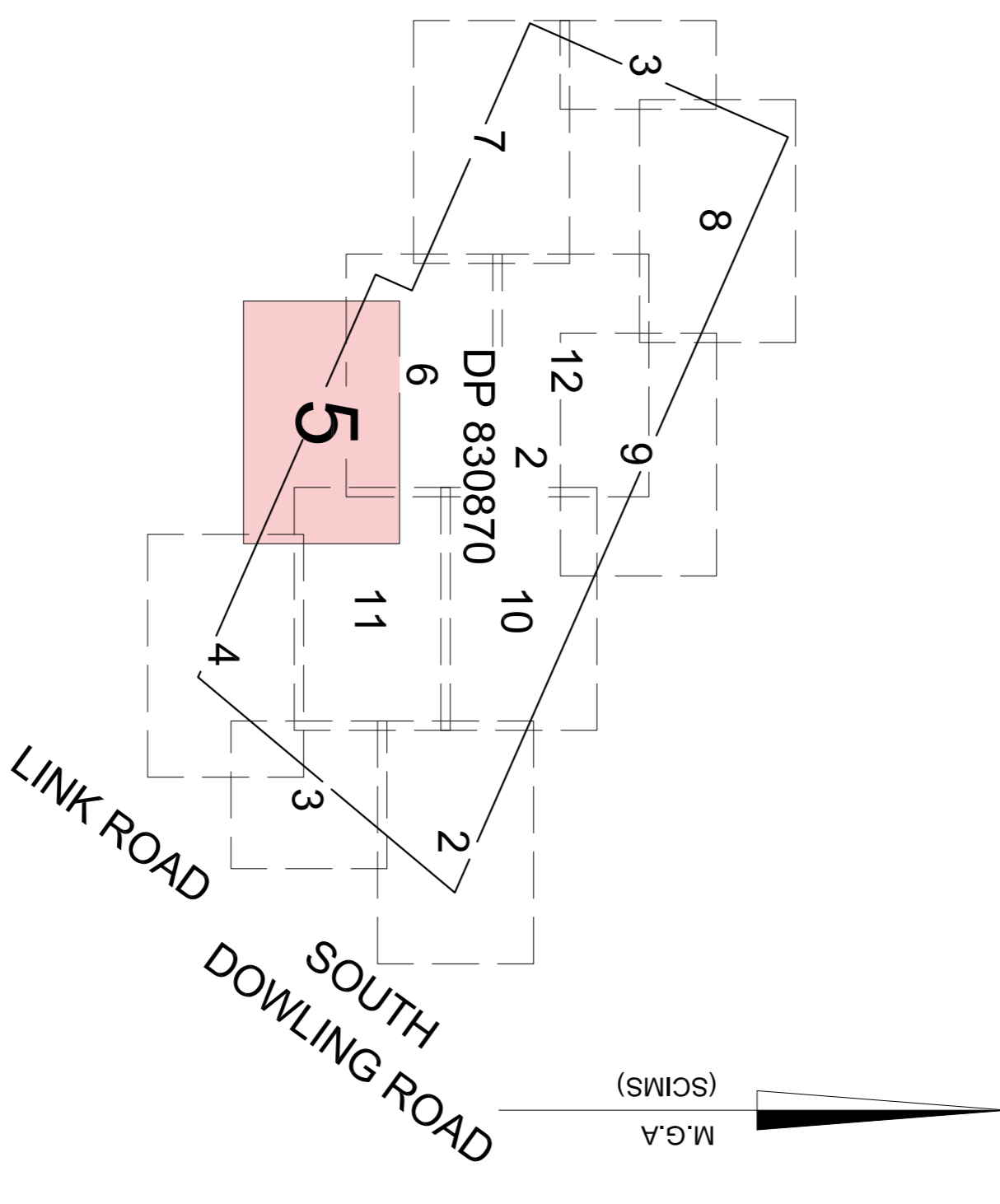
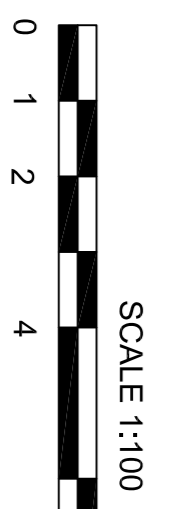
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PLAN PREPARED FOR:		SUTTONS GROUP OF COMPANIES		DATUM - A.H.D.		SCALE : 1:100 @ A1		DATE : 15-05-2020	
				ORIGIN OF LEVELS : SSM 49315		LOCALITY : LONGUEVILLE		SURVEY : RL	
				CONTOUR INTERVAL : 0.25m		L.G.A. : LANE COVE		DRAWN : RL	
				SHEET No. 4 OF 12		REF : 75182RL		CHECKED : DM	
DESCRIPTION:		PLAN SHOWING SELECT FEATURES & LEVELS							
		LOT 2 IN DP 830870							
		BEING NO. 905 SOUTH DOWLING STREET, ZETLAND, 2017							



SCHEDULE OF ABBREVIATIONS

- AC - AIR CONDITIONING UNIT
- APPROX - APPROXIMATE
- AT - AWNING TOP
- BOL - BOLLARD (APPROX POSITION)
- BLK - BLOCK
- CON - CONCRETE
- COL - COLUMN STRUCTURE
- CONC - CONCRETE RETAINING WALL
- DR - DRAIN
- EBX - ELECTRICITY BOX
- ELP - ELECTRICITY LIGHT POLE
- EP - ELECTRICITY PIT SERVICE
- FH - FIRE HYDRANT
- GP - GRATED PIT
- HVD - HYDRANT
- INV - PIT INVERT (APPROX)
- LH - LAMP HOLE
- LM - LINE MARKING (APPROX)
- LI - LIGHT POLE
- LI - LIGHT POLE
- MFC - METAL FENCE
- MH - MANHOLE
- ML - METAL LID
- OH - OVERHEAD
- PAV - PAVING
- PP - POWER POLE
- RI - ROOF RIDGE
- RT - ROOF TOP (APPROX)
- SI - SIGNAGE
- SLH - SEWER LAMP HOLE
- SV - STOP VALVE
- TEL - TELECOMMUNICATION PIT
- TG - TOP ROOF-GUTTER
- TK - TOP KEYS
- TK - TOP KEYS
- TC - TOP OF ROOF GUTTER
- UC - UNIDENTIFIED SERVICE
- US - UNDERSIDE STRUCTURE
- WMF - WIRE MESH FENCE
- WMF - WIRE MESH FENCE
- WTM - WATER TANK

- (A) EASEMENT FOR DRAINAGE 3.05 WIDE BURDENING PART OF THE SUBJECT LAND (VIDE DEALING NO. F722877)
- (D) PART LAND BENEFITED BY EASEMENT FOR DRAINAGE (VIDE DEALING NO. F722877)
- (F) COVENANT (VIDE DEALING NO. K920060)
- (G) COVENANT (VIDE DEALING NO. F723355)
- (H) COVENANT (VIDE DEALING NO. F723355)
- (I) COVENANT (VIDE DEALING NO. F723355)
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- (Z) COVENANT (VIDE DEALING NO. F723355)



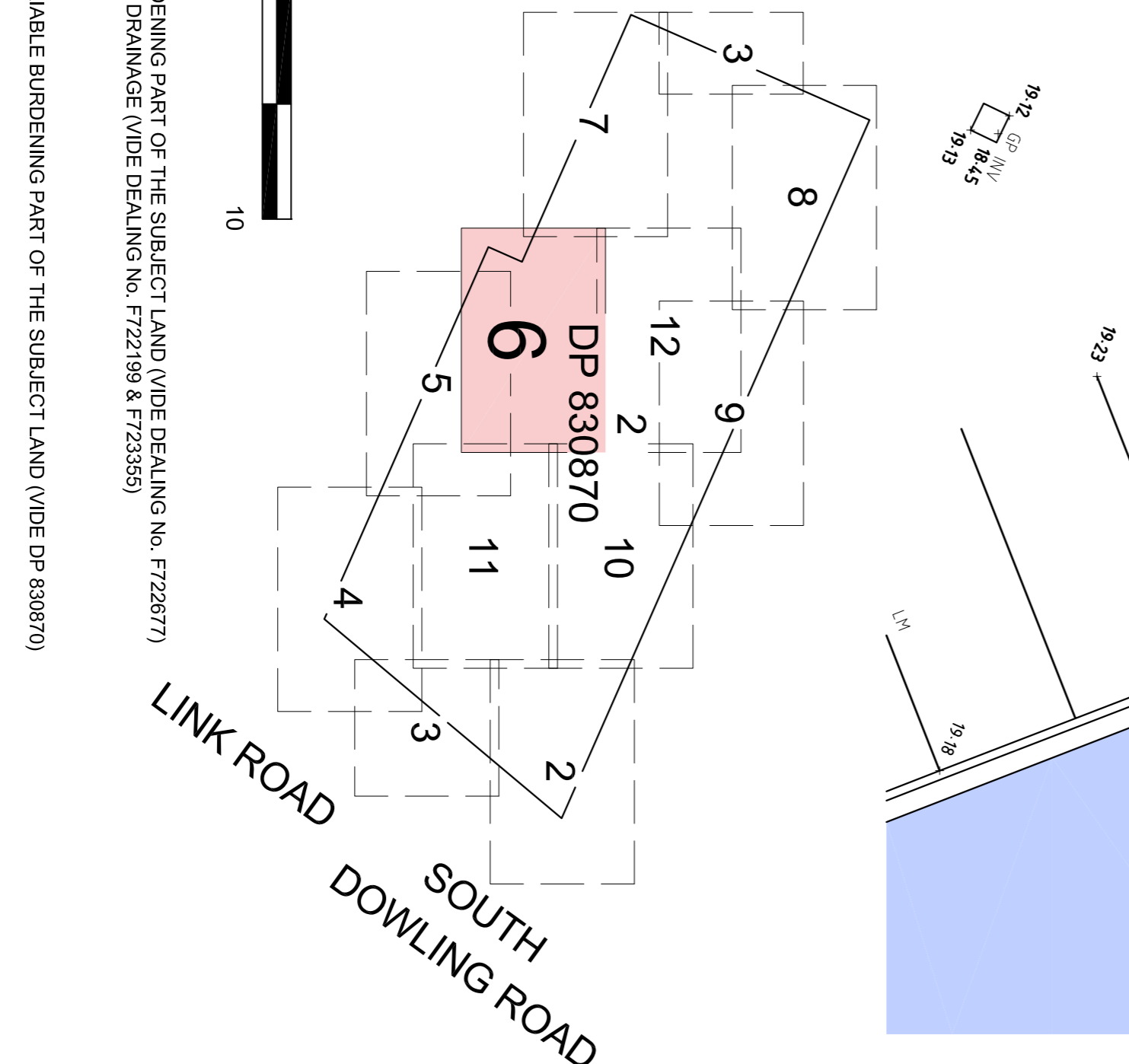
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PLAN PREPARED FOR:		SUTTONS GROUP OF COMPANIES		DATUM: A.H.D.		SCALE: 1:100 @ A1	
				ORIGIN OF LEVELS: SSM 49315		LOCALITY: LONGUEVILLE	
				CONTOUR INTERVAL: 0.25m		L.G.A.: LAKE COVE	
				SHEET No. 5 OF 12		REF: 75182RL	
				DATE: 16-05-2020		SURVEY: RL	
						DRAWN: RL	
						CHECKED: DM	
DESCRIPTION:		PLAN SHOWING SELECT FEATURES & LEVELS					
		LOT 2 IN DP 830870					
		BEING NO. 905 SOUTH DOWLING STREET, ZETLAND, 2017					



SCHEDULE OF ABBREVIATIONS

- AC - AIR CONDITIONING UNIT
- APPROX - APPROXIMATE
- AT - AWNING TOP
- BOL - BOLLARD (APPROX POSITION)
- CBW - CONCRETE BLOCK WALL
- CO - CONCRETE
- CON - CONCRETE STRUCTURE
- CRW - CONCRETE RETAINING WALL
- DR - DRAIN
- EBX - ELECTRICITY BOX
- ELP - ELECTRICITY/LIGHT POLE
- EP - ELECTRICITY PIT/ SERVICE
- FH - FIRE HYDRANT
- GP - GRATED PIT
- HYD - HYDRANT
- INV - PIT INVERT (APPROX)
- LM - LINE MARKING (APPROX)
- LI - LIGHT POLE
- LI - GROUND LIGHT POLE
- MFC - METAL FENCE
- MH - MOUND
- OH - OVERHEAD
- PAY - PAVING
- PP - POWER POLE
- RI - ROOF RIDGE
- RT - ROOF TOP (APPROX)
- SI - SIGNAGE
- SLH - SEWER LAMP HOLE
- ST - STOP VALVE
- TEL - TELECOMMUNICATION PIT
- TK - TOP KERB
- TW - TOP WALL
- TG - TOP OF ROOF GUTTER
- UC - UNDER FLOOR SERVICE
- UMF - UNDER MESH FENCE
- WMF - WATER METER
- WTK - WATER TANK

- (A) EASEMENT FOR DRAINAGE 3.05 M WIDE BURDENING PART OF THE SUBJECT LAND (VIDE DEALING NO. F722877)
- (D) PART LAND BENEFITED BY EASEMENT FOR DRAINAGE (VIDE DEALING NO. F722877)
- (F) COVENANT (VIDE DEALING NO. R920080)
- (G) COVENANT (VIDE DEALING NO. F723355)
- (H) COVENANT (VIDE DEALING NO. F723355)
- (I) COVENANT (VIDE DEALING NO. F723355)
- (Y) RIGHT OF CARRIAGEWAY 1.875 M WIDE & VARIABLE BURDENING PART OF THE SUBJECT LAND (VIDE DP 830870)
- (Z) COVENANT (VIDE DEALING NO. G200463)



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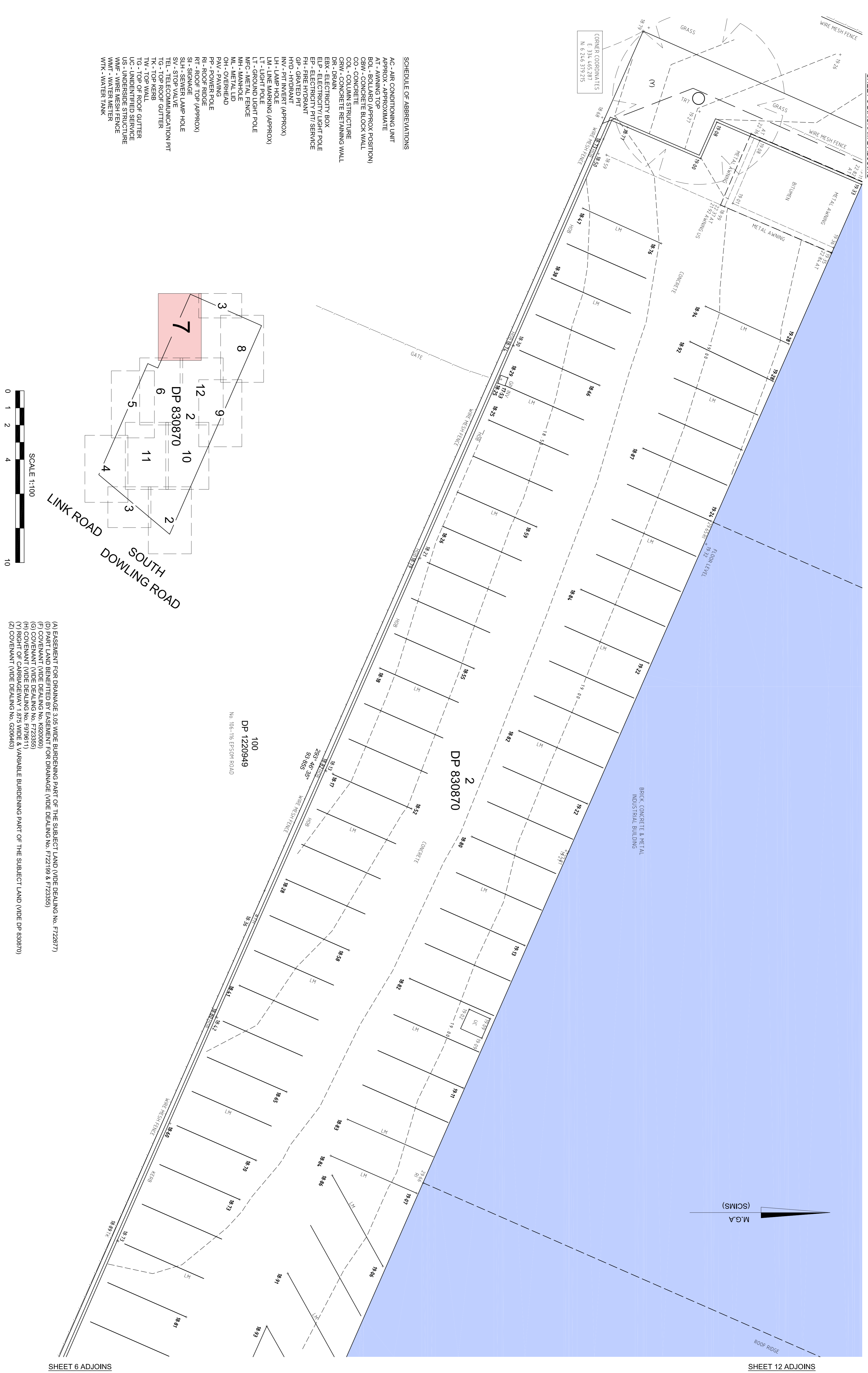
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DATE	REV	COMMENTS

PLAN PREPARED FOR:
SUTTONS GROUP OF COMPANIES

DATUM: AHD.	SCALE: 1:100 @ A1
ORIGIN OF LEVELS: SSM 49315	LOCALITY: LONGUEVILLE
CONTOUR INTERVAL: 0.25m	L.G.A.: LANE COVE
SHEET No. 6 OF 12	REF: 75182RL

DATE: 15-05-2020	DESCRIPTION:
SURVEY: RL	PLAN SHOWING SELECT FEATURES & LEVELS
DRAWN: RL	LOT 2 IN DP 830870
CHECKED: DM	BEING NO. 905 SOUTH DOWLING STREET, ZETLAND, 2017



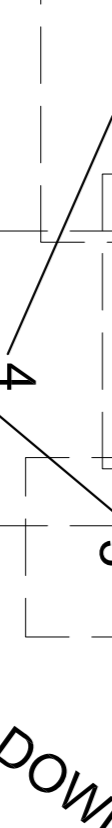
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DP 1220949
No. 106-116 EPSOM ROAD

7
DP 830870

2
DP 830870

SHEET 6 ADJOINS

SCALE 1:100



SCHEDULE OF ABBREVIATIONS

- AC - AIR CONDITIONING UNIT
- APPROX - APPROXIMATE
- AT - AWNING TOP
- BOL - BOLLARD (APPROX POSITION)
- CBW - CONCRETE BLOCK WALL
- CO - CONCRETE
- COL - COLUMN STRUCTURE
- CRW - CONCRETE RETAINING WALL
- DR - DRAIN
- EBX - ELECTRICITY BOX
- EIP - ELECTRICITY/LIGHT POLE
- EP - ELECTRICITY PIT/ SERVICE
- ER - EXHAUST
- GP - GRAVEL PIT
- HYD - HYDRANT
- INV - PIT INVERT (APPROX)
- LH - LAMP HOLE
- LM - LINE MARKING (APPROX)
- LT - LIGHT POLE
- LT - LIGHT POLE
- LT - GROUND LIGHT POLE
- MFC - METAL FENCE
- MH - MANHOLE
- ML - METAL LID
- OH - OVERHEAD
- PAV - PAVING
- PP - POWER POLE
- PR - ROOF RIDGE
- PR - ROOF RIDGE
- RS - SIGNAGE
- SIH - SEWER LAMP HOLE
- SY - STOP VALVE
- TEL - TELECOMMUNICATION PIT
- TG - TOP ROOF GUTTER
- TG - TOP ROOF GUTTER
- TW - TOP KERB
- TW - TOP WALL
- TG - TOP OF ROOF GUTTER
- UC - UNIDENTIFIED SERVICE
- US - UNDERSIDE STRUCTURE
- WMF - WIRE MESH FENCE
- WMT - WATER METER
- WTK - WATER TANK

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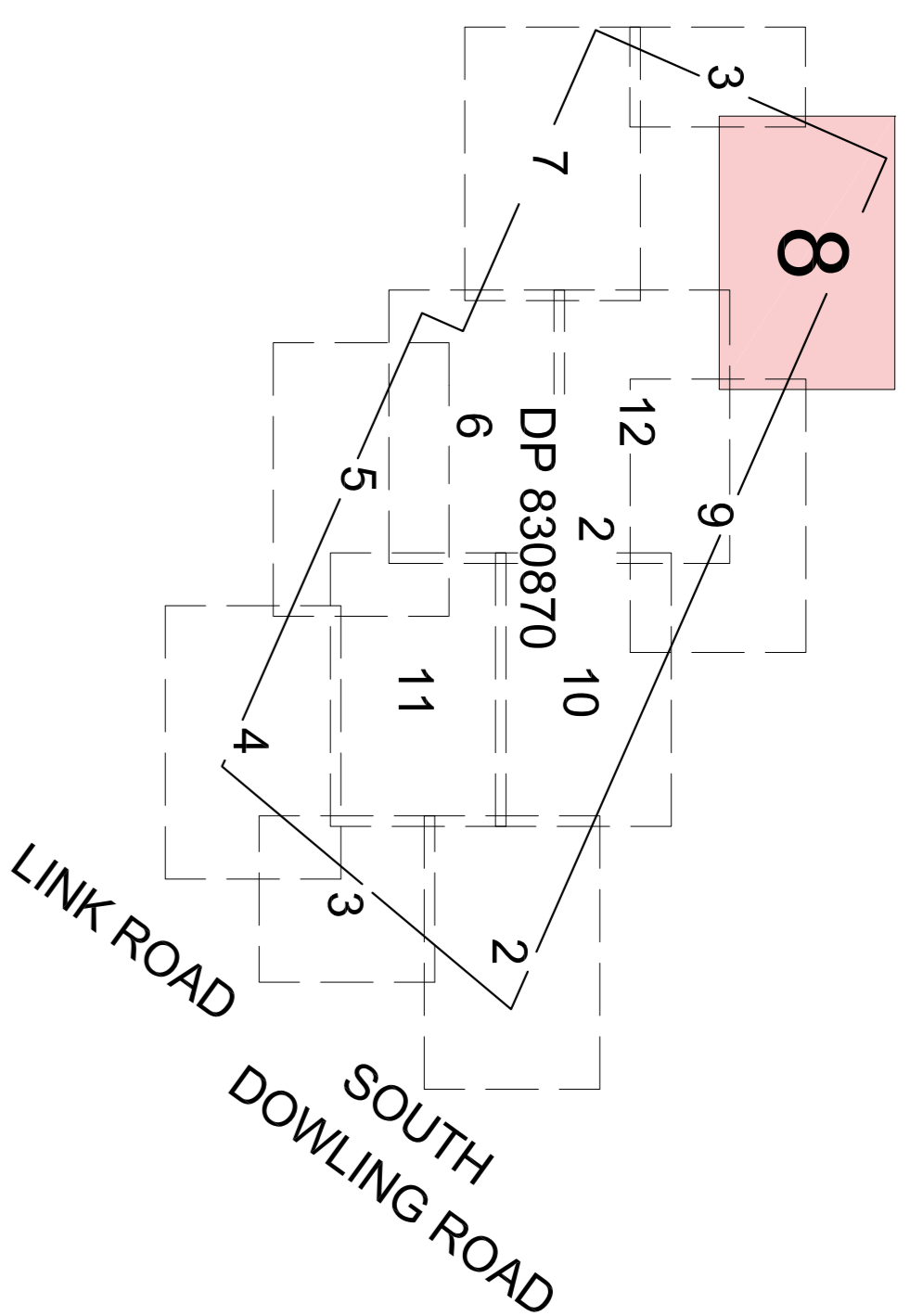
DATE	REV	COMMENTS

PLAN PREPARED FOR:
SUTTONS GROUP OF COMPANIES

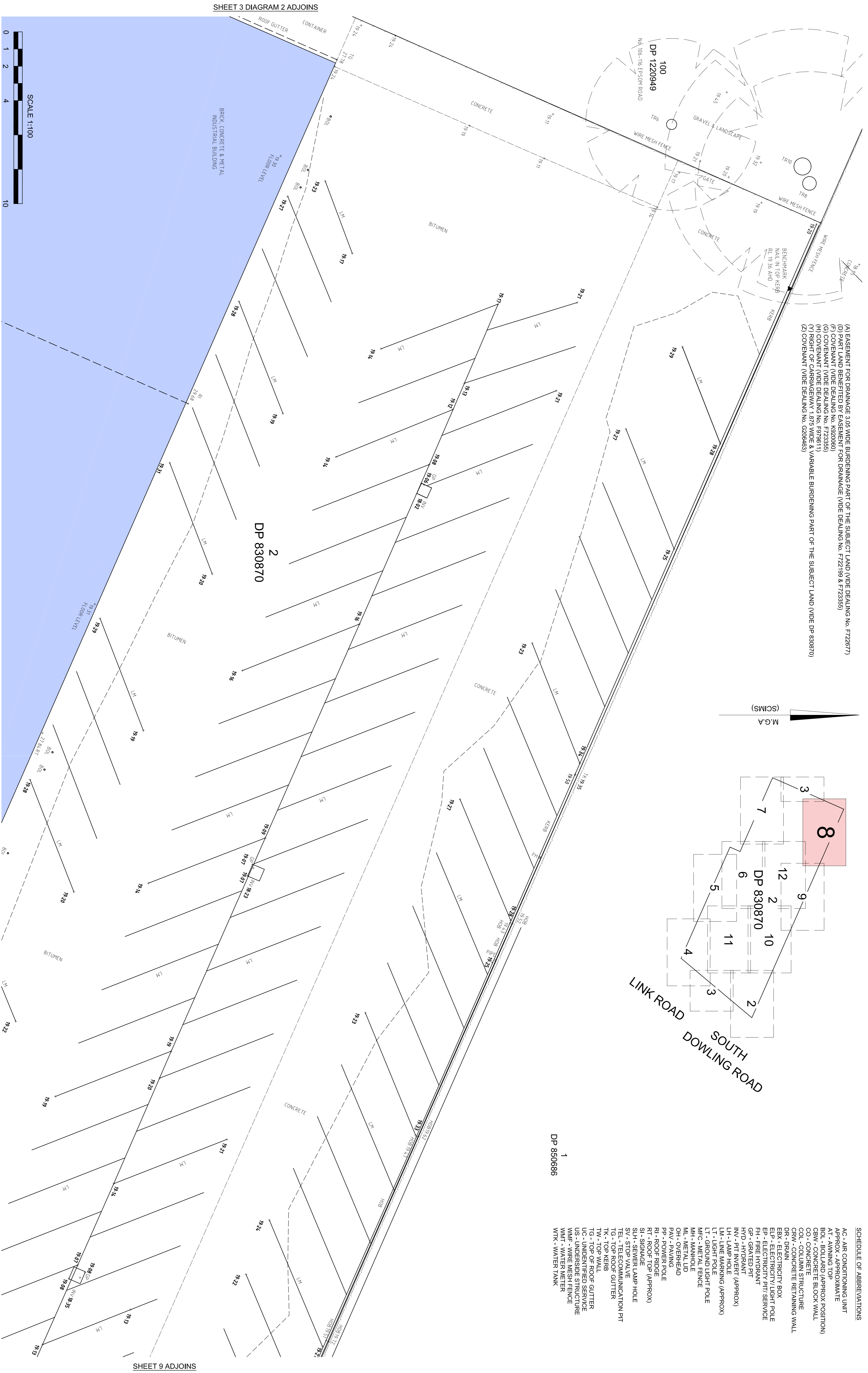
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ORIGIN OF LEVELS: SSM 49315	LOCALITY: LONGUEVILLE	SURVEY: RL
CONTOUR INTERVAL: 0.25m	L.G.A.: LANE COVE	DRAWN: RL
SHEET No. 7 OF 12	REF: 75182RL	CHECKED: DM

DESCRIPTION:
PLAN SHOWING SELECT FEATURES & LEVELS
LOT 2 IN DP 830870
BEING No. 905 SOUTH DOWLING STREET, ZETLAND, 2017

- (A) EASEMENT FOR DRAINAGE 3.05 WIDE BURDENING PART OF THE SUBJECT LAND (VIDE DEALING NO. FT22677)
- (D) PART LAND BENEFITED BY EASEMENT FOR DRAINAGE (VIDE DEALING NO. FT22199 & FT23355)
- (F) COVENANT (VIDE DEALING NO. K920060)
- (G) COVENANT (VIDE DEALING NO. FT23355)
- (H) COVENANT (VIDE DEALING NO. F979611)
- (I) RIGHT OF CARRIAGEWAY 1.875 WIDE & VARIABLE BURDENING PART OF THE SUBJECT LAND (VIDE DP 830870)
- (Z) COVENANT (VIDE DEALING NO. G206463)

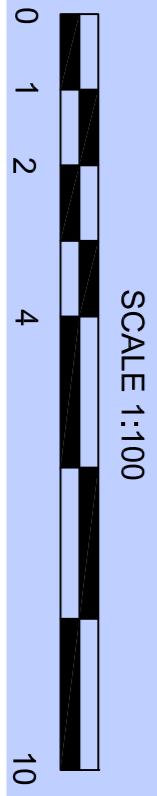


- SCHEDULE OF ABBREVIATIONS
- AC - AIR CONDITIONING UNIT
 - APPROX - APPROXIMATE
 - AT - AWNING TOP
 - BOL - BOLLARD (APPROX POSITION)
 - BRN - CONCRETE BLOCK WALL
 - COL - COLUMN STRUCTURE
 - CRM - CONCRETE RETAINING WALL
 - DR - DRAIN
 - EBX - ELECTRICITY BOX
 - EP - ELECTRICITY/LIGHT POLE
 - EP - ELECTRICITY PIT/SERVICE
 - FH - FIRE HYDRANT
 - GP - GRATED PIT
 - HYD - HYDRANT
 - INV - PIT INVERT (APPROX)
 - LH - LAMP HOLE
 - LM - LINE MARKING (APPROX)
 - LI - LIGHT POLE
 - MFG - MANGHOLE
 - MHC - MANHOLE
 - ML - METAL LID
 - OH - OVERHEAD
 - PAV - PAVING
 - PP - POWER POLE
 - RI - ROOF RIDGE
 - RT - ROOF TOP (APPROX)
 - SI - SIGNAGE
 - SLH - SEWER LAMP HOLE
 - SV - STOP VALVE
 - TEL - TELECOMMUNICATION PIT
 - TG - TOP ROOF GUTTER
 - TK - TOP KERB
 - TV - TOP OF ROOF GUTTER
 - US - UNIDENTIFIED SERVICE
 - US - UNDERSIDE STRUCTURE
 - WMF - WIRE MESH FENCE
 - WMT - WATER METER
 - WTK - WATER TANK



SHEET 3 DIAGRAM 2 ADJOINS

SHEET 9 ADJOINS



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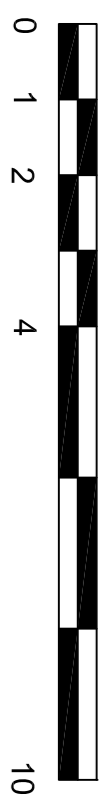
DATE	REV	COMMENTS

PLAN PREPARED FOR:
SUTTONS GROUP OF COMPANIES

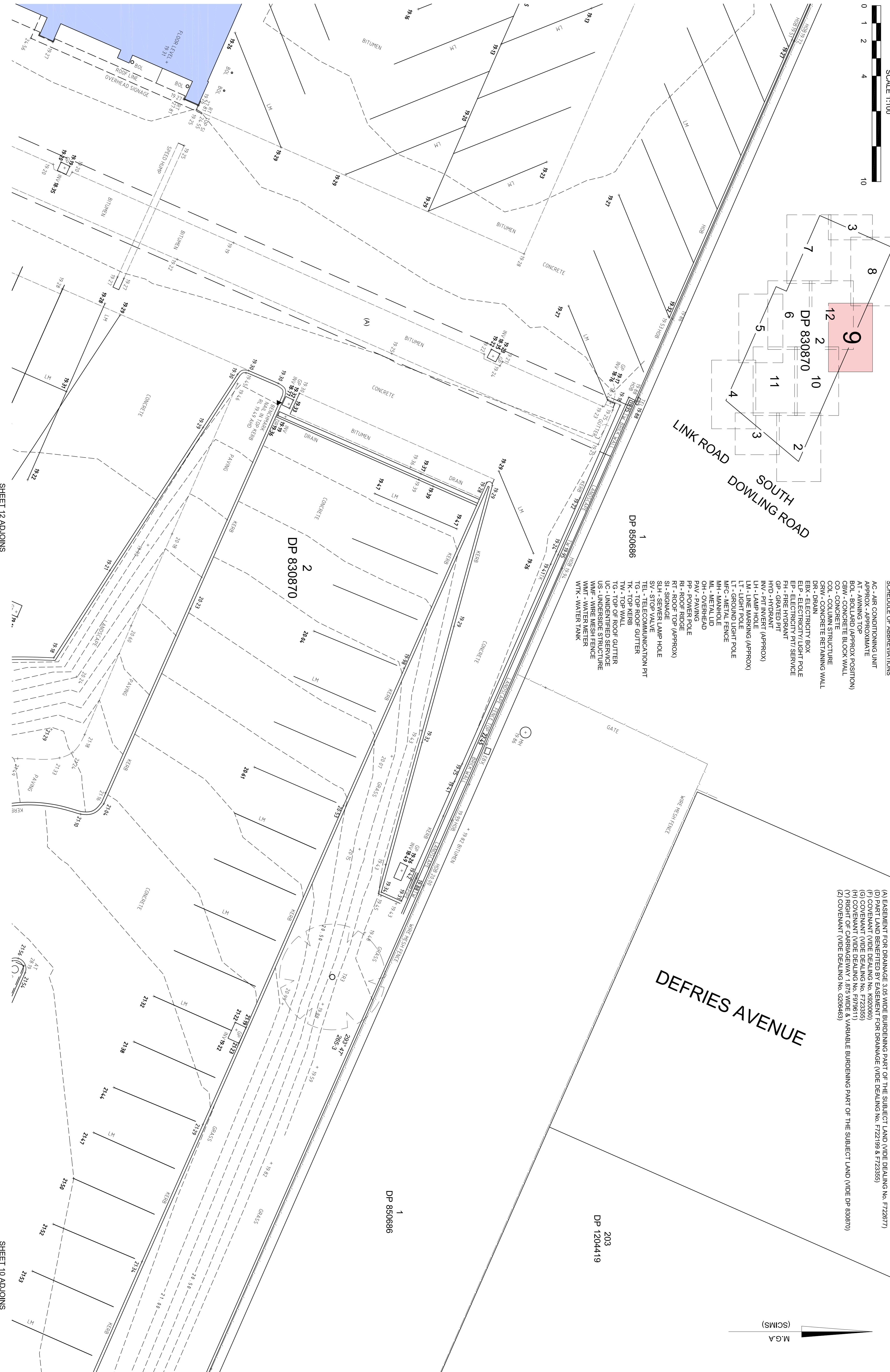
DATUM: A.H.D.	SCALE: 1:100 @ A1	DATE: 16-05-2020
ORIGIN OF LEVELS: SSM 49315	LOCALITY: LONGUEVILLE	SURVEY: RL
CONTOUR INTERVAL: 0.25m	L.G.A.: LANE COVE	DRAWN: RL
SHEET No. 8 OF 12	REF: 75182RL	CHECKED: DM

DESCRIPTION:
PLAN SHOWING SELECT FEATURES & LEVELS
 LOT 2 IN DP 830870
 BEING NO. 905 SOUTH DOWLING STREET, ZETLAND, 2017

SCALE 1:100



SHEET 8 ADJOINS

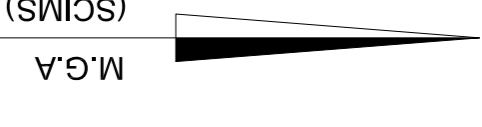


SCHEDULE OF ABBREVIATIONS

- AC - AIR CONDITIONING UNIT
- APPROX - APPROXIMATE
- AT - AWMING TOP
- BOL - BOLLARD (APPROX POSITION)
- CBW - CONCRETE BLOCK WALL
- CO - CONCRETE
- COL - COLUMN STRUCTURE
- CRW - CONCRETE RETAINING WALL
- DR - DRAIN
- EB - ELECTRICITY BOX
- EP - ELECTRICITY/LIGHT POLE
- EP - ELECTRICITY PIT/SERVICE
- FH - FIRE HYDRANT
- GP - GRATED PIT
- HYD - HYDRANT
- INV - PIT INVERT (APPROX)
- LH - LAMP HOLE
- LM - LINE MARKING (APPROX)
- LT - LIGHT POLE
- LT - GROUND LIGHT POLE
- MFC - METAL FENCE
- MH - MANHOLE
- ML - METAL LID
- PP - POWER POLE
- PP - POWER POLE
- RT - ROOF TOP (APPROX)
- RT - ROOF TOP (APPROX)
- SI - SIGNAGE
- SV - STOP VALVE
- TEL - TELECOMMUNICATION PIT
- TG - TOP ROOF GUTTER
- TK - TOP KERB
- TW - TOP WALL
- TG - TOP OF ROOF GUTTER
- UC - UNIDENTIFIED SERVICE
- US - UNDERSIDE STRUCTURE
- WMP - WIRE MESH FENCE
- WTK - WATER TOWER
- WTK - WATER TANK

- (A) EASEMENT FOR DRAINAGE 3.05 WIDE BURDENING PART OF THE SUBJECT LAND (VIDE DEALING NO. FT22677)
- (D) PART LAND BENEFITED BY EASEMENT FOR DRAINAGE (VIDE DEALING NO. FT22199 & FT23355)
- (F) COVENANT (VIDE DEALING NO. K920860)
- (G) COVENANT (VIDE DEALING NO. F228353)
- (H) COVENANT (VIDE DEALING NO. F228353)
- (N) RIGHT OF CARRIAGEWAY 1.875 WIDE & VARIABLE BURDENING PART OF THE SUBJECT LAND (VIDE DP 830870)
- (Z) COVENANT (VIDE DEALING NO. G206463)

M.G.A (SCMS)



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DATE	REV	COMMENTS

PLAN PREPARED FOR:
SUTTONS GROUP OF COMPANIES

DATUM: A.H.D.	SCALE: 1:100 @ A1	DATE: 15-05-2020
ORIGIN OF LEVELS: SSM 49315	LOCALITY: LONGUEVILLE	SURVEY: RL
CONTOUR INTERVAL: 0.25m	L.G.A.: LANE COVE	DRAWN: RL
SHEET No. 9 OF 12	REF: 75182RL	CHECKED: DM

DESCRIPTION:
PLAN SHOWING SELECT FEATURES & LEVELS
 LOT 2 IN DP 830870
 BEING NO. 905 SOUTH DOWLING STREET, ZETLAND, 2017

Building Measurement Specialist
 Consulting Land Surveyors
 3D Laser Scanning
 ph. 02 9629 9377
 www.realservice.com.au

SHEET 12 ADJOINS

SHEET 10 ADJOINS

SURVEYOR'S REPORT

Date: 20th May 2020

Our Ref: 75812

Instructed By: Suttons Group of Companies

Re: 905 South Dowling Road, Zetland, NSW, 2017

Further to your instructions and for your private use we have surveyed, where accessible & for identification purposes only, the land comprised in Computer Folio Certificate Title Reference:

- 2/830870 being Lot 2 in Deposited Plan 830870

The Folio Certificate Search as obtained from NSW Land Registry Services is certified to 20/05/2020.

Location of Subject Land

Locality: Zetland

Local Government Area: Sydney

Parish: Alexandria

County: Cumberland

The subject land is known as No. 905 South Dowling Road has road frontages to South Dowling Road and Link Road.

The area of the subject land is 2.467 ha (by Survey Calculation).

Improvements on the Subject Land

Erected on the subject land is a brick, concrete and metal industrial building, two concrete and glass buildings, a brick building and a brick building attached to the building erected on the adjacent property to the south. These building structures as surveyed generally stand within the subject property and the location relative to subject property boundaries is as shown on the accompanying plan. Encroachments are as noted below.

Fencing

The land is partially walled and fenced as shown on the accompanying plan.

Encroachments

In our opinion:

- Part of the southern face of a concrete block wall erected on the subject land stands over the adjoining land to the south by 0.07 metres as shown on the accompanying plan.
- The northern part of two shelter structures erected on the adjoining land to the south (Lot 7 DP 24134) stand and overhang over the subject land by up to 2.89 metres as shown.

Apart from fencing irregularities shown on the accompanying plan there appears to be no further visible encroachments by or upon the subject property as surveyed & where accessible.

Registered Encumbrances, Easements and Interests

Lot 2 DP 830870

1. Reservations and conditions in the Crown Grant(s).
2. Covenant (vide Dealing No. F723355) designated (G) as shown on the accompanying plan.
3. Covenant (vide Dealing No. F979611) designated (H) as shown.
4. Covenant (vide Dealing No. G206463) designated (Z) as shown.
5. Covenant (vide Dealing No. K920060) designated (F) as shown.
6. Easement for Drainage 3.05 metres wide benefiting part of the subject land (vide Dealing No. F722199 & F723355) designated (D) as shown.
7. Easement for Drainage 3.05 metres wide burdening part of the subject land (vide Dealing No. F722677 & F723355) designated (A) as shown and, Right of Carriageway 1.875 metres wide and variable width (vide DP 830870) designated (Y) as shown.
8. Easement to Drain Water 3 metres wide benefiting the subject land (vide DP 830870).


Boundary Reinstatement

The boundaries have been identified from title dimensions and survey measurements to marks & monuments recorded on existing registered survey plans of the subject and adjoining lands.

This report and accompanying plan have been prepared for Identification purposes only and as such is not a new survey of the title dimensions and should not be used for any other purpose other than to identify the subject land.

This survey & report is not registered at NSW Land Registry Services. Subsequent registered or other surveys in the area may affect boundary definition as shown in this report. Any differences so caused to the boundary definition in this report are beyond the control of the signing Registered Surveyor who can accept no responsibility for such differences.

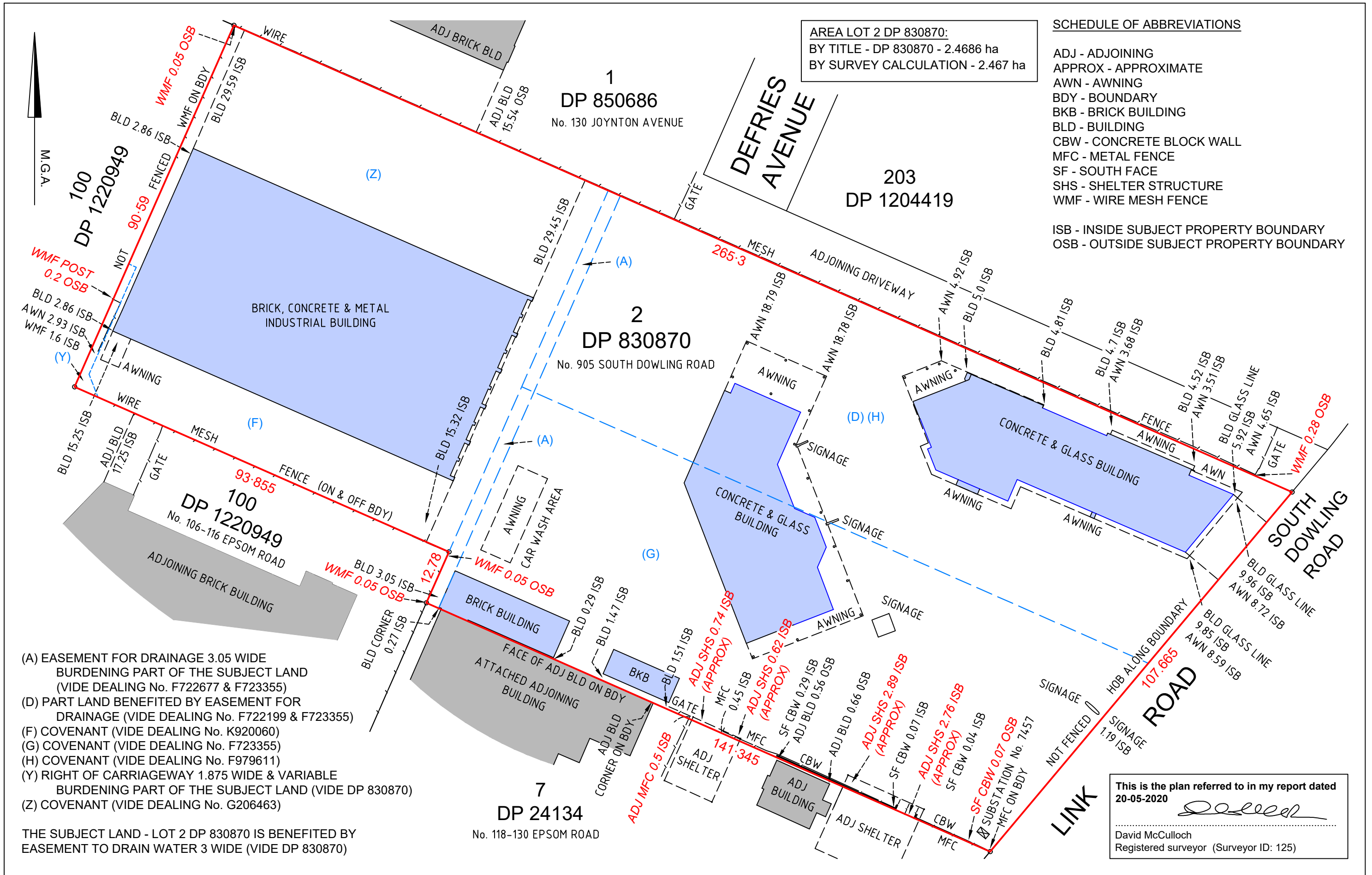
This report is to be read in conjunction with the accompanying Plan of Identification Survey.



.....
David McCulloch (Registered Surveyor – Surveyor ID: 125)

Attachments

- *Plan of Identification Survey*



AREA LOT 2 DP 830870:
 BY TITLE - DP 830870 - 2.4686 ha
 BY SURVEY CALCULATION - 2.467 ha

- SCHEDULE OF ABBREVIATIONS**
- ADJ - ADJOINING
 - APPROX - APPROXIMATE
 - AWN - AWNING
 - BDY - BOUNDARY
 - BKB - BRICK BUILDING
 - BLD - BUILDING
 - CBW - CONCRETE BLOCK WALL
 - MFC - METAL FENCE
 - SF - SOUTH FACE
 - SHS - SHELTER STRUCTURE
 - WMF - WIRE MESH FENCE
- ISB - INSIDE SUBJECT PROPERTY BOUNDARY
 OSB - OUTSIDE SUBJECT PROPERTY BOUNDARY

- (A) EASEMENT FOR DRAINAGE 3.05 WIDE BURDENING PART OF THE SUBJECT LAND (VIDE DEALING No. F722677 & F723355)
- (D) PART LAND BENEFITED BY EASEMENT FOR DRAINAGE (VIDE DEALING No. F722199 & F723355)
- (F) COVENANT (VIDE DEALING No. K920060)
- (G) COVENANT (VIDE DEALING No. F723355)
- (H) COVENANT (VIDE DEALING No. F979611)
- (Y) RIGHT OF CARRIAGEWAY 1.875 WIDE & VARIABLE BURDENING PART OF THE SUBJECT LAND (VIDE DP 830870)
- (Z) COVENANT (VIDE DEALING No. G206463)

THE SUBJECT LAND - LOT 2 DP 830870 IS BENEFITED BY EASEMENT TO DRAIN WATER 3 WIDE (VIDE DP 830870)

This is the plan referred to in my report dated 20-05-2020

David McCulloch

David McCulloch
 Registered surveyor (Surveyor ID: 125)

Plan Prepared for:
SUTTONS GROUP OF COMPANIES

Disclaimer: This plan has been prepared for Identification purposes only and as such is not a new survey of the title dimensions. This plan should not be used for any other purpose other than to identify the parcel of land.

PLAN OF IDENTIFICATION SURVEY
 LOT 2 IN DP 830870
 No. 905 SOUTH DOWLING ROAD, ZETLAND
 LGA : SYDNEY

Date: 20-05-2020
 Ref: 75182RL Rev: -
 Scale: NOT TO SCALE

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